

ADDENDUM #1 - RFP 2022 -21-021P REQUEST FOR  
PROPOSALS FOR ARCHITECTURAL SERVICES FOR  
Modernization of Surfside Educational Academy

**NOTICE TO PROPOSERS**

**ADDENDUM #1**

**RFP #2022-21-021P Architectural Services for Modernization of Surfside Educational Academy**

**Oceanside Unified School District**

The following changes, additions, deletions, clarifications or corrections shall become part of the Request for Proposals for the above listed project. This Addendum #1 forms a part of the RFQ document and modifies the original documents. **Addendum #1 MUST be Acknowledged in the cover letter.** Failure to do so may subject response to disqualification.

<b>Oceanside Unified School District</b>	PROGRAM MANAGER: CCM/MAAS
<b>Architectural Services</b>	Program Manager: Penny McGrew
RFQ QUESTION	RFQ RESPONSE
There are two dates listed for response due date in the RFP.	Please submit responses by <b>January 13, 2022 by 2:00pm.</b>
Will documents regarding campus site plans and building plans be released?	Please view site plans for Surfside <a href="#">here</a> . Facility Site use maps are attached as Exhibit A.
Please provide floor plans for all buildings and/or space inventory of programs.	All plans we currently have are included in the link above.
Can the District provide CAD drawings of the topographic survey for the firms to create concept drawings?	CAD drawings are not available. All plans we currently have are included in the link above.
Is Site Infrastructure Basemap available (Sewer / Water / Storm Drain systems)?	Preliminary investigations are in process.
Is there an ADA transition plan for the campus?	A draft copy of an ADA plan has been attached as <b>Exhibit B.</b>

Can the District define the scope of work in regard to student drop off and parking?	This will be determined during programming.
Are there any unique AV or technology systems for the classrooms or support spaces on campus?	No.
What is the project schedule for the project, including start of Schematic Design and Project Completion?	This will be determined during design.
For item 4.2.7 of the proposal response, please define what a page is considered?	8.5x11. However, 11x17 sheets may be used, so long as they are able to be folded and tucked neatly into the response.
Does the District require two separate teams if we are proposing both?	We will look to the firms responding to adequately staff all projects.
Given the page count limitation for item 4.2.3 – Key Personnel, are we able to include resumes as an appendix?	Please include brief summaries in the section as outlined. Full resumes may be attached at the end of the response as “Additional Information” and will not be counted toward the overall page limit.
Will the District be posting the list of attendees from each of the site walks?	The list will be posted to the website <a href="#">here</a> and is included as <b>Exhibit C</b> here.
Is there any anticipated seismic retrofit for the buildings required?	It is anticipated that the modernization will require some seismic retrofit; whether it is voluntary, or mandatory is TBD.
Have there been any modernization or renovations to the existing structures since completion?	There has been no significant modernization or renovation at the site.
What is the anticipated scope of modernization? (Exterior, Interior, Mechanical repair or replacement, Electrical, Accessibility, Restrooms, Roofing, Site upgrades and/or Utility infrastructure)	The modernization may include any or all of referenced scope.
What field improvements are required to be provided with respect to the High school’s current sports - Football, soccer and basketball as well as the required locker rooms?	SEA has a basketball team. Other sports needs will be determined during programming.
Are sheets within our submittal limited to 8.5x11 or may 11x17 sheets be used?	11x17 sheets may be used, so long as they are able to be folded and tucked neatly into the response.
Please confirm that five (5) pages are required for Section 4.2.5 - References	There is a 5-page limit for Section 4.2.5. Please do not exceed the overall page count of 20 pages.

Would you please provide record drawings of Surfside Educational Academy. Site plans, floor plans and exterior elevations are most helpful. Also, a diagram or description of the current uses of the buildings would also be very helpful.	All plans that we currently have are included in the link above.
Currently, there is a house located in the corner of Eucalyptus Street and Ditmar Street. Will this house be removed, repurposed or may we creatively re-use the building?	The District owns this property but has not determined the use of this building at this time. However, firms that would like to incorporate it, may do so at their discretion.
Are floor plans, site plans and programming documents available?	All plans that we currently have are included in the link above.
What is the breakdown for the K-12 program and location of grades? Can this be reconfigured?	We will look to the approved architect to determine the best space utilization for all programs currently at SEA.
The RFQ documents mentions a need of modular replacements. Can the District identify the location of said modular buildings?	The only modular currently onsite is the Child Development Center. We will be adding 5 temporary portables that cannot stay on the location selected. The approved firm will need to determine another location for any permanent modulars.
Will the campus modernization add air conditioning to all of the buildings on campus?	It is likely that air conditioning will be added to the buildings but the District has not made that determination yet.
What kind of site improvements does the District have in mind (i.e turf field, playgrounds)?	The site improvements will need to accommodate the educational programs that are offered. Final needs will be determined during programming.
What are the key programs that the district offers and additional programs? Maker Space, STEAM/STEAM, Robotics, VAPA etc.	Child Development Center, Adult Transition Program, K-12 Independent Learning, 9-12 Distance and Blended Learning.
Could you please clarify what the district requires for the bolded portion (see below) of section 4.3 Fee Schedule?  "A not-to-exceed fee for full project lifecycle shall be included in this proposal."	Please disregard the not to exceed fee. Please provide only a schedule of rates.
Are school buses used at this site for students? If so, is there an approximate quantity that needs to be accommodated for?	The only school buses used in this District are for Special Education.
Does the current 23,000 facility square feet accommodate the existing K-12 independent study and 9-12 Alternative High School with Child Development Center, or is additional square footage needed for these two programs? Is ATP to be housed within the existing buildings on-site, or is additional square footage needed for this program? If	The site currently accommodates both existing programs, resulting in high congestion. ATP will need to be incorporated on the site. We anticipate an increase in square footage for all programs, to be determined during programming.

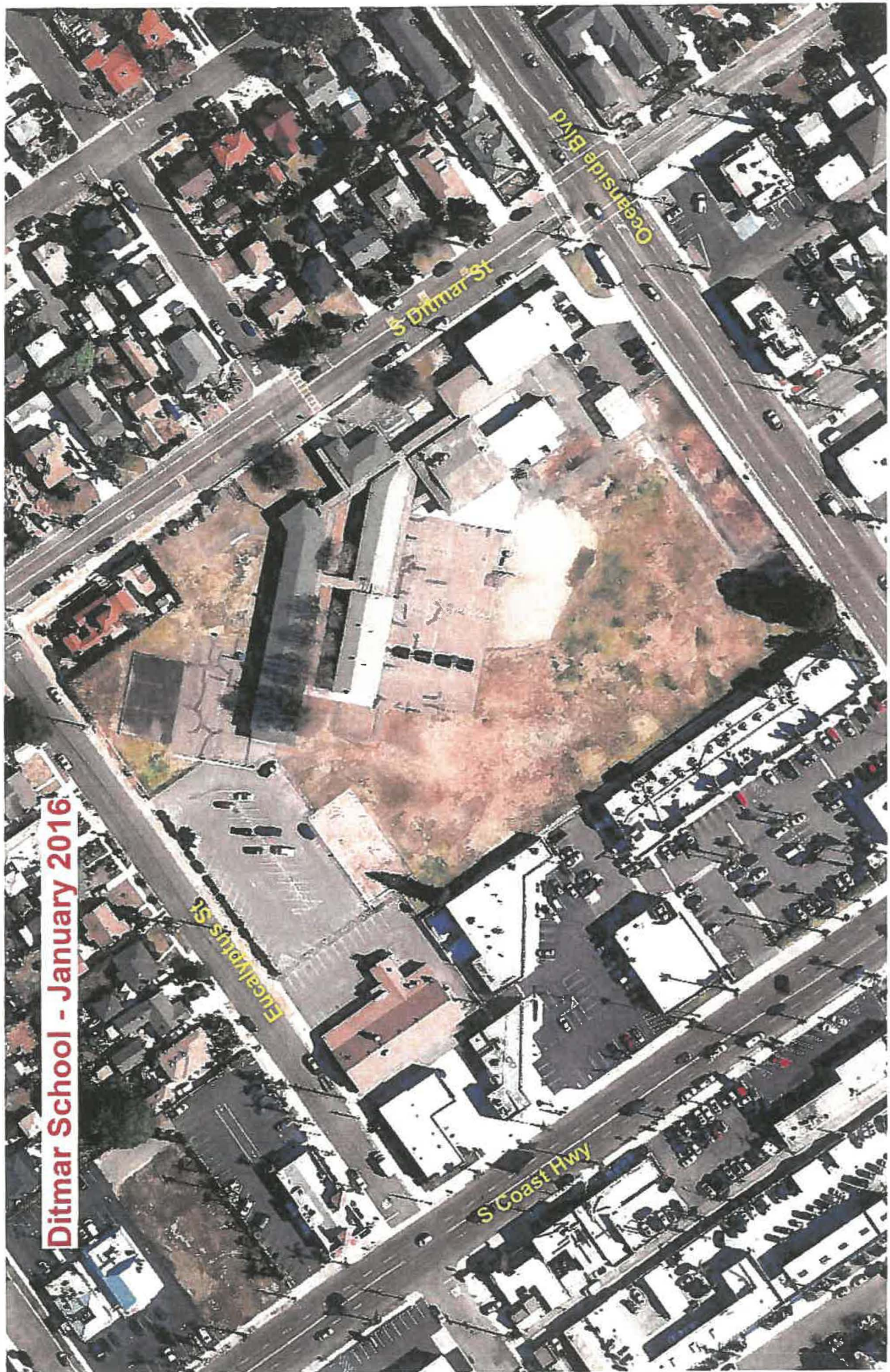
new square footage is needed for either program, will it be permanent, modular, or both?	
There appears to be a project under construction at the Surfside Academy. Is this A#04-119001, the construction of (1) 40' x 72' childcare center relocatable unit, (6) 24' x 40' relocatable units, and a new PC shade structure? What program will be housed in these new buildings? Additionally, is this project to remain as existing square footage to be considered in the proposal?	That project consists of the Child Development Center (CDC) only. The other portions are being removed by a CCD. The CDC can be considered existing space.
For section 4.2.7 on both RFQs, may we use more than the 2-page allowance IF we are still within the 20 page limit?  For example: If we use 3 out of 5 pages on section 4.2.5, can we use the remaining two pages for Section 4.2.7?	Please do not exceed the overall page limit of 20 pages.
Section 4.2.3 requests biographies as well as resumes of key personnel and consultants. If all are provided, this will exceed the 4 page limit. We intend to include brief summaries of each person. Please clarify resume requirement.	Please include brief summaries in the section as outlined. Full resumes may be attached at the end of the response as "Additional Information" and will not be counted toward the overall page limit.
Are as-builts available for Surfside Ed Academy?	All plans we currently have are included in the link above.
Has an asbestos survey been completed? If so, possible to provide?	It has not been completed yet. The district is in the process of performing preliminary investigations and testing.
Is the intent to keep the existing electrical service or upgrade?	Please refer to the recently completed Master plan to review the current facility conditions.
Is the intent to upgrade the IT infrastructure and create a MDF which serves all buildings?	Yes.
Is the new child development portable/relocatable building intended to be onsite for less than three years and sited upon a temporary foundation?	No.
Is Kitchen used as full kitchen or warming kitchen?	Full Kitchen.
Does the current CE program have sufficient space? How many classrooms are needed?	This will be determined during programming

Does the current IS program have sufficient space? How many classrooms are needed?	There is not sufficient space currently. The number of classrooms will be determined during programming.
How many classrooms/students are needed for the elementary school? Is there a need to separate certain grades?	This will be determined during programming. Elementary School should be separate from Middle and High School.
What hours will the Adult Program run? / Will all the Adult students be taking class at the same time?	The ATP program has the same hours as the rest of the site. It is not anticipated that all of the ATP students will attend class at the same time.
Is there a preferred amount of students per class for the Adult Program?	ATP has the same requirements as Special Education classrooms.
Does the Adult Program need outdoor space?	It is desirable that an outdoor space is provided for ATP.
What hours will the CTE program run? / Will the CTE Program require it's own designated classroom?	CTE programs are a concept at this point. To be determined during programming.
Does MS need a separate outdoor activity areas or can they share with HS?	They currently share the outdoor area. That may change during programming.
Are all students required to check in at the front office when arriving at campus? ES, MS, HS CE, HS IS, child development, adult program?	Students are required to check in at the front office if they are not arriving within the pickup and drop off time.
Since PE is currently located in the multipurpose room, is there a need for a larger assembly space/theater?	There is a need for a place other than the MPR for the fitness center so the MPR can be utilized for its intended purpose.
Is there ever a time when all the programs need to assemble in a single space for something like a rally?	No. Each program operates as a single educational entity.
In the building with the Library and Child Development Center, the campus map produced by Surfside shows a SpEd class behind the library. What is the function of this space?	It is currently being utilized as a Special Education classroom. That may change during Programming
Please provide Electrical as-builts for the campus.	All plans we currently have are included in the link above.
Please provide Fire Alarm as-builts for the campus	All plans we currently have are included in the link above.

Has an asbestos survey been completed, if so can that be provided?	All plans we currently have are included in the link above.
What is the main electrical service size for the campus? Is the intent to keep the existing electrical service or upgrade?	Please refer to as built drawings.
Is the intent to replace ceilings?	It is the District's expectation that if ceilings are in poor conditions, they will be replaced as needed.
Is the intent to upgrade to LED lighting and T24 compliant controls?	Yes.
Is the intent to upgrade the IT infrastructure and create a MDF which serves all buildings?	Yes.
Is the new child development portable/relocatable building intended to be onsite for less than three years and sited upon a temporary foundation? This would reduce the fire alarm requirements within the structure. (Or since it is a newer install does it already have fire alarm included?)	The new CDC is permanent and has a fire alarm.
Are there existing electrical/low voltage pathways connecting the buildings on campus? If so, please provide as-builts indicating size and location of pathways.	Please refer to as- built drawings.
Please provide occupancy classification and occupant load for each building on the campus.	The occupancy classification is "E". The occupant load of each building may change based on what is determined during programming.
Please provide civil as-builts for the campus.	See above.

END OF ADDENDUM #1







# DITMAR ACADEMY OCEAN SHORES H.S. AARC PROGRAM 2019-2020

## Classroom/Office Assignments:

- 1: Harris English (OSHS)
- 2: Carterette Math (OSHS)
- 3: Van Hoosear Art (OSHS)
- 4: von Neumann Science (OSHS)
- 5: Sacos-Francis/Rawlins (SpEd)
- 6: Pederson/Boyster AARC 1/2 (ECHS)
- 7: Tran Math
- 8: Bruckner English / ERWC
- 9: Olsen Spanish (OSHS)
- 10: Steiner History (OSHS)

## OUR SITE

1125 S. Ditmar

Oceanside, CA 92054

K1: Francis AARC 1 (ECHS)

K1 A: W

K1 B: Takasuki

K2: Ortega Supervising Teacher - Virtual K-5

Library: Callahan/Wynne

L1: Yasukochi Child Care

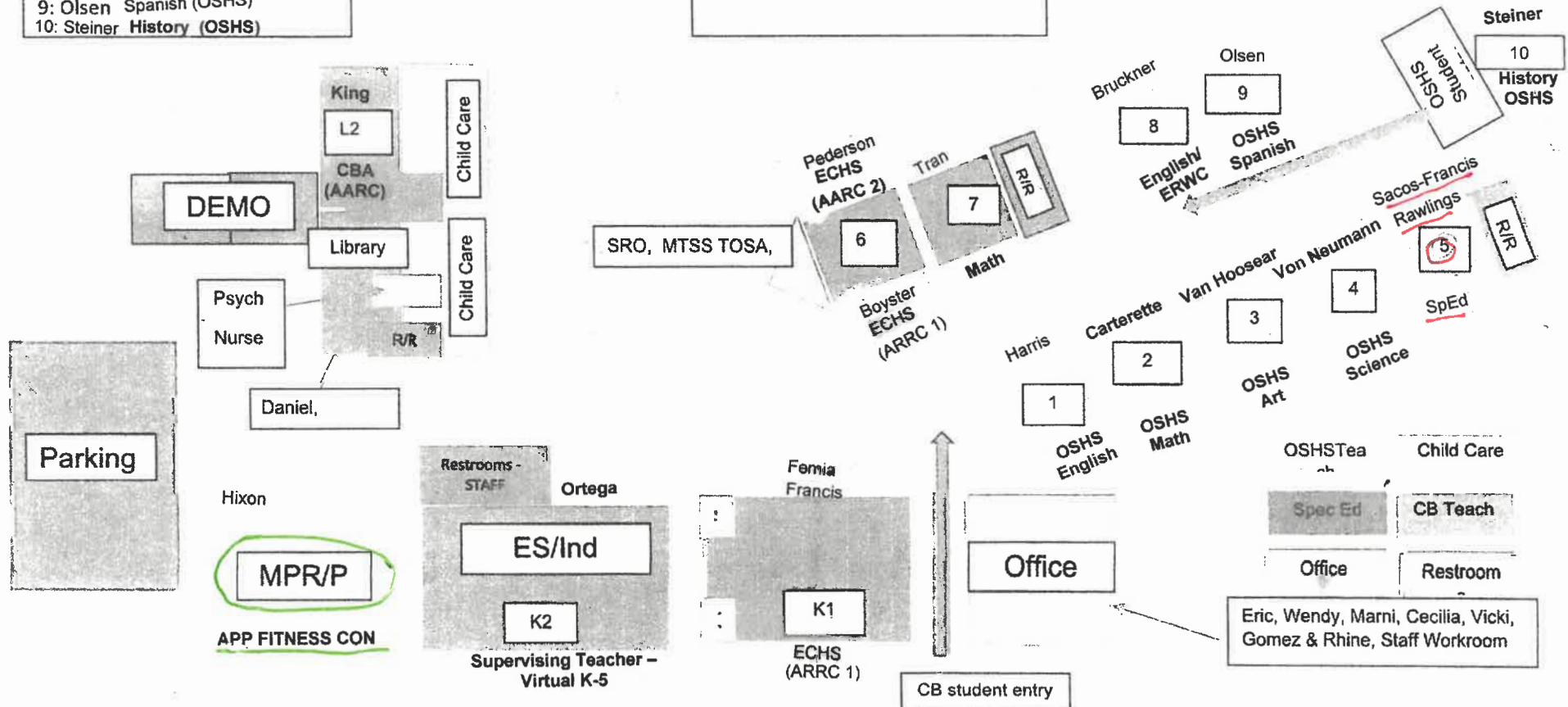
L2: King Teacher (CBA AARC)

MPR: Hixon APP FITNESS CON

## SURFSIDE EDUCATIONAL ACADEMY

Beginning with  
2020-2021 School Year

Parking





# Ocean Shores High

5/27/2020

2019-2020

## STAFF SCHEDULE - Term: 4

Page 1

Teacher	Term	Period 0	Period 1	Period 2	Period 3	Period 4	Period 5
BrucknerScot	4		1143 ERWC A, 1159 ENG 12A CC	1258 ERWC B, 1271 ENG 12B CC	1371 ERWC B, 1385 ENG 12B CC	1443 ENGLISH 11A (P), 1455 ENG 11A CC	1530 ENGLISH 11B (P), 1541 ENG 11B CC
CarteretteMik	4		1144 HS MATH IB Y2, 1160 MATH IB	1259 HS MATH IB Y2, 1272 MATH IB	1372 HS MATH IIB, 1386 MATH IIB	1444 HS MATH IIB, 1456 MATH IIB	1531 HS MATH IB Y1
HarrisHolly	4		1147 ALW B / 12, 1148 ALW B / 11, 1149 ALW B / 10	1260 ENG 9B CC (P), 1261 ENG 9A CC (P), 1277 ENG 9B CC, 1278 ENG 9A CC	1373 ALW B / 12, 1374 ALW B / 11, 1375 ALW B / 10	1445 ENG 10B CC (P), 1446 ENG 10A CC (P), 1459 ENG 10B CC, 1460 ENG 10A CC	1532 ENG 10A CC (P), 1533 ENG 10B CC (P), 1543 ENG 10A CC, 1544 ENG 10B CC
HixonJeremy	4		1151 APP FITNESS CON, 1158 BODY DYNAMICS				1534 BODY DYNAMICS
NeumannEdc	4		1152 BIOLOGY A (P), 1153 BIOLOGY B (P)	1262 BIOLOGY B (P), 1263 BIOLOGY A (P)	1376 EARTH SCI A (P), 1377 EARTH SCI B (P)	1447 EARTH SCI B (P), 1448 EARTH SCI A (P)	1535 EARTH SCI A (P), 1536 EARTH SCI B (P)
OlsenJeffrey	4		1154 SPANISH IB (P), 1161 SPAN IB, 1162 SPAN IA	1264 SPANISH IB (P), 1273 SPAN IB, 1274 FRENCH IIA (P), 1275 SPAN IA, 1281 SPANISH IA (P)	1378 SPANISH IIA (P), 1387 SPAN IIA	1449 SPANISH IIB (P), 1457 SPAN IIB	1537 SPANISH IIB (P), 1542 SPAN IIB
RawlinsCame	4	11 HOMEROOM	1155 ASLC	1265 ASLC	1379 ASLC	1450 ASLC	1538 ASLC
Sacos-Franci	4	12 HOMEROOM	1156 ASLC, 1164 ENGLISH 12A (P)	1266 ASLC, 1280 ENGLISH 12A (P), 1282 ENGLISH 12B (P)	1380 ASLC, 1392 ENGLISH 12B (P)	1451 ASLC, 1461 ENGLISH 11A (P)	1539 ASLC
SteinerPatrici	4		1157 WORLD HST B (P)	1267 ECONOMICS (P), 1283 US HST A (P)	1381 ECONOMICS (P)	1452 US HST B (P)	1540 GOVERNMENT (P)
VanHoosearF	4			1268 ART IA (P), 1269 ART IIA (P), 1270 ART IIB (P), 1276 ART APPR	1382 ART IB (P), 1383 ART IIA (P), 1384 ART IIB (P), 1388 ART APPR, 1391 MULTICULT ST, 1390 MULTICULT ST	1453 3D DES/SCULP A, 1454 3D DES/SCULP B, 1458 ART APPR	

# Campus Accessibility Evaluation and Program Re-Alignment Site Master Plan Study

Ditmar School  
Oceanside Unified School District

Client:  
Oceanside Unified School District  
2111 Mission Ave.  
Oceanside, CA 92058

Performed By:  
**Alpha**Studio Design Group  
6152 Innovation Way  
Carlsbad, CA 92009  
760-431-2444



March 4, 2019

## **Report Format**

The following methodology was utilized for the Accessibility Evaluation of the existing Ditmar School campus. Field work was conducted, which comprised of a visual survey to document existing conditions as it relates to accessibility regulations for school campuses. These findings were compiled and analyzed to determine the extent of accessibility non-compliance with Codes. Non-compliant items were identified, and a determination presented of general scope required to upgrade the campus to be in compliance with accessibility Codes. Scoping is limited to identifying in general terms the work required for compliance but does not provide a detailed and engineered design solution. Budgetary construction costs have been assigned to the identified upgrade requirements.

Site accessibility was reviewed using the following criteria:

1. Exterior path of travel to buildings.
2. Existing barriers or impediments to path of travel.
3. Accessible route from parking to buildings.
4. Accessible route from public right of way to buildings.
5. Accessible features such as ramps, handrails, and wheelchair guards.
6. Interior accessibility, including path of travel within the buildings.
7. Conforming restrooms.
8. Drinking fountains.
9. Detailed evaluations of site accessibility features.

The accessibility survey format which follows includes noncompliant findings, recommended methods for barrier removal, estimated budgetary costs per non-compliant item, and a summarization of the campus-wide improvement budgetary cost.

## **Application of Standards and Requirements**

The site inspection utilized both federal ADA standards (ADAAG) and 2016 California Building Code (CBC). Both ADA and CBC standards are required for an accessibility survey. As required, if a state standard requires a greater or higher level of accessibility, the state standard is applied. The accessibility standard applied must at least meet the federal standard. A lesser standard can not be applied.

## **Estimated Costs**

This report applies estimated budgetary construction costs associated with the upgrade requirements for planning purposes. Costs presented are in a "Rough Order of Magnitude" (ROM) format and are not intended to be actual construction costs and are not intended to be comprehensive or definitive. Estimated costs use industry standards for labor and materials. Costs may vary depending upon the type of materials used, size of the job or amount of overall work to be done. Costs may be affected if renovation is more extensive and when more modifications are done at once, due to factors such as the contractor's travel and set up time. For projects of minimal size, the contractor's markup might be significantly higher. Material costs may vary according to supply and demand. Labor costs vary widely, depending on the difficulty of a particular renovation, prevailing local wage laws and the availability of labor.

## DITMAR SCHOOL

1125 South Ditmar Street  
Oceanside, CA 92054



DATE OF ORIGINAL CONSTRUCTION: 1940's

DATE OF PREVIOUS ALTERATION: 2004

BUILDING SQUARE FOOTAGE: 28,500 S.F.

NUMBER OF ON-SITE PARKING STALLS:

LOT 1: 55 (MIN. REQD ACCESSIBLE: 3)

LOT 2: 11 (MIN. REQD ACCESSIBLE: 1)



**Parking - Exterior : Parking Lot , Warning Signage**

**Parking Lot**

**Warning Sign**

Parking Lot Warning Sign

**Finding**

The warning signage regarding unauthorized use of accessible parking spaces in the parking lot is not present in both parking lots.  
On-Site Finding      Sign not provided.

**Recommendation**

Provide Parking Lot "Tow Away" sign.  
Recommended      See Above

**Costing Information**

Install post mounted sign.

\$1,300



## **Parking - Exterior : Parking Lot , Parking Space**

### **Parking Lot**

#### **Accessible Space At Lot Off Of Oceanside Blvd**

Parking Space Surface Slope

#### **Finding**

Pavement surface slope at accessible parking space exceeds the 2% maximum cross slope.

On-Site Finding 2.75 % Cross Slope

#### **Recommendation**

Overlay existing asphalt paving to provide compliant surface slopes at parking and access aisle.

Recommended Overlay and transition for 2% maximum cross slopes

#### **Costing Information**

Asphalt overlay.

\$3,250



## **Parking - Exterior : Parking Lot , Parking Space**

### **Parking Lot**

#### **Accessible Space At Lot Off Of Oceanside Blvd**

Stall Striping

#### **Finding**

The stall striping does not meet current requirements.

Additionally, a designated "Van" accessible stall does not exist.

On-Site Finding Dimensions of parking stall, color of pavement striping, and ISA symbol are non-compliant.

#### **Recommendation**

Restripe stall.

Recommended Restripe stall and access aisle to meet "Van" stall dimensions.

#### **Costing Information**

Stripe van stall parking space.

\$1,950



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Parking - Exterior : Parking Lot , Parking Space**

**Parking Lot**

**Accessible Space At Lot Off Of Oceanside Blvd**

Stall Signage

**Finding**

There is no "Van Stall" and \$250.00 fine sign at the parking space.

On-Site Finding    Not Found

**Recommendation**

Provide a "Van Stall" with \$250.00 fine sign at the parking space.

Recommended    See Above

**Costing Information**

New sign

\$650



**Path of Travels - Exterior : Path Of Travel , Walking Surfaces**

**Path Of Travel To The Campus Entry From Accessible Parking**

**Exterior Walks**

Walking Surface Slope

**Finding**

There are slopes greater than allowed maximum slope on the primary path of travel.

On-Site Finding    5.2 percent cross slope

**Recommendation**

Due to excessive grade slope, a compliant walkway will need to be provided and delineated.

Recommended    Up to 5 percent in direction of travel with maximum 2 percent cross slope

**Costing Information**

Install compliant walkway.

\$15,800



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Path of Travels - Exterior : Path Of Travel , Gates**

**Path Of Travel To The Campus Entry From Accessible Parking**

**Gate**

Level landing

**Finding**

Level landing with slope no greater than 2 percent in any direction does not exist at entry gate.

On-Site Finding      No Landing at Gate

**Recommendation**

Provide a level landing, sized to comply with door clearance requirements.

Recommended      See Above

**Costing Information**

Provide level landing.

\$4,550



**Path of Travels - Exterior : Path Of Travel , Gates**

**Path Of Travel To The Campus Main Entry**

**Gate**

Non-Compliant Gate

**Finding**

The gate does not comply with exit door requirements, regarding door hardware and 10" smooth surface at bottom of gate.

On-Site Finding      Non-compliant gate

**Recommendation**

Provide an accessible gate complete with exit device, lever hardware.

Recommended      See Above

**Costing Information**

Install compliant gate.

\$5,850





### **Path of Travels - Exterior : Path Of Travel , Gates**

#### **Path Of Travel From The Public Right Of Way**

##### **Gate**

Non-Compliant Gate

##### **Finding**

The gate does not comply with exit door requirements, regarding door width, door hardware and 10" smooth surface at bottom of gate.

On-Site Finding      Non-compliant gate

##### **Recommendation**

Provide an accessible gate complete with exit device, lever hardware.  
Recommended      See Above

##### **Costing Information**

Install compliant gate.      \$12,350



### **Path of Travels - Exterior : Path Of Travel , Gates**

#### **Path Of Travel Main Campus**

##### **Gate**

Level landing

##### **Finding**

Level landing with slope no greater than 2 percent in any direction does not exist at gate.

On-Site Finding      No Landing at Gate

##### **Recommendation**

Provide a level landing, sized to comply with door clearance requirements.

Recommended      See Above

##### **Costing Information**

Provide level landing.      \$4,550



## **Path of Travels - Exterior : Path Of Travel , Gates**

### **Path Of Travel Main Campus**

#### **Gate**

Non-Compliant Gate

#### **Finding**

The gate does not comply with exit door requirements, regarding door hardware and 10" smooth surface at bottom of gate.

On-Site Finding      Non-compliant gate

#### **Recommendation**

Provide an accessible gate complete with exit device, lever hardware.  
Recommended      See Above

#### **Costing Information**

Install compliant gate.      \$5,850



## **Path of Travels - Exterior : Path Of Travel , Gates**

### **Path Of Travel Main Campus**

#### **Gate**

Level landing

#### **Finding**

Level landing with required door clearances does not exist at gate.

On-Site Finding      No Landing at Gate

#### **Recommendation**

Provide a level landing, sized to comply with door clearance requirements.

Recommended      See Above

#### **Costing Information**

Provide level landing.      \$4,550



**Path of Travels - Exterior : Path Of Travel , Gates**

**Path Of Travel Main Campus**

**Gate**

Non-Compliant Gate

**Finding**

The gate does not comply with exit door requirements, regarding door hardware and 10" smooth surface at bottom of gate.

On-Site Finding      Non-compliant gate

**Recommendation**

Provide an accessible gate complete with exit device, lever hardware.  
Recommended    See Above

**Costing Information**

Install compliant gate.      \$5,850



**Path of Travels - Exterior : Path Of Travel , Gates**

**Path Of Travel Main Campus**

**Gate**

Level landing

**Finding**

Level landing with required door clearances does not exist at entry gate.

On-Site Finding      No Landing at Gate

**Recommendation**

Provide a level landing, sized to comply with door clearance requirements.

Recommended    See Above

**Costing Information**

Provide level landing.      \$3,250



## **Path of Travels - Exterior : Path Of Travel , Gates**

### **Path Of Travel Main Campus**

#### **Gate**

Non-Compliant Gate

#### **Finding**

The gate does not comply with exit door requirements, regarding door hardware and 10" smooth surface at bottom of gate.

On-Site Finding      Non-compliant gate

#### **Recommendation**

Provide an accessible gate complete with exit device, lever hardware.  
Recommended    See Above

#### **Costing Information**

Install compliant gate.      \$5,850



## **Path of Travels - Exterior : Path Of Travel , Walking Surfaces**

### **Path Of Travel Walkway In Front Of Rooms 2-5**

#### **Exterior Walks**

Walking Surface Cross Slope

#### **Finding**

There are cross slopes greater than allowed on the path of travel within the campus.

On-Site Finding      Varies between 2.25 & 2.75 percent

#### **Recommendation**

Provide compliant sidewalk.  
Recommended    Up to 2.00percent



#### **Costing Information**

Install compliant walkway.      \$12,500



## **Path of Travels - Exterior : Path Of Travel , Walking Surfaces**

### **Path Of Travel In Front Of Restrooms**

#### **Exterior Walks**

Walking Surface Cross Slope

#### **Finding**

There are cross slopes greater than allowed on the path of travel within the campus.

On-Site Finding     2.70 percent

#### **Recommendation**

Provide compliant sidewalk.

Recommended     Up to 2.00percent



#### **Costing Information**

Install compliant walkway.

\$4,650

## **Path of Travels - Exterior : Path Of Travel , Walking Surfaces**

### **Path Of Travel Outside Of Teacher's Workroom**

#### **Exterior Walks**

Walking Surface Cross Slope

#### **Finding**

There are cross slopes greater than allowed on the path of travel within the campus.

On-Site Finding 4.80 percent

#### **Recommendation**

Provide compliant sidewalk.

Recommended Up to 2.00percent



#### **Costing Information**

Install compliant walkway. \$10,200

## **Path of Travels - Exterior : Path Of Travel , Walking Surfaces**

### **Path Of Travel Outside Of Multi-Purpose & K2**

#### **Exterior Walks**

Walking Surface Cross Slope

#### **Finding**

There are cross slopes greater than allowed on the path of travel within the campus.

On-Site Finding Varies between 2.30 and 2.50 percent

#### **Recommendation**

Provide compliant sidewalk.

Recommended Up to 2.00percent



#### **Costing Information**

Install compliant walkway. \$12,500

## **Path of Travels - Exterior : Path Of Travel , Walking Surfaces**

### **Path Of Travel Outside Of Room L2**

#### **Exterior Walks**

Walking Surface Cross Slope

#### **Finding**

There are cross slopes greater than allowed on the path of travel within the campus.

On-Site Finding 7.40 percent

#### **Recommendation**

Provide compliant sidewalk.

Recommended Up to 2.00percent



#### **Costing Information**

Install compliant walkway.

\$10,725

## **Path of Travels - Exterior : Path Of Travel , Vehicular Traffic**

### **Path Of Travel At Parking Lot**

#### **Walk at Gate**

No Detectable Warnings

#### **Finding**

The pedestrian route adjoins vehicular traffic.

On-Site Finding None Found

#### **Recommendation**

Provide detectable warnings.

Recommended See Above



#### **Costing Information**

Install detectable warnings.

\$3,250

### **Ramps - Exterior : Ramp**

#### **Ramp From Classroom Wing 1-5 to Classroom Wing 6-7**

##### **Pedestrian Ramp**

Ramp Non-Compliance

##### **Finding**

Aspects of the ramp, in regards to surface slope, landing dimensions, landing configurations, and handrails are non-compliant.

On-Site Finding Level landings non existent at top and bottom, handrails are non-existent

##### **Recommendation**

Due to extensive nature of non-compliance entire ramp replacement recommended.

Recommended See Above

##### **Costing Information**

Replace entire ramp. \$20,850



### **Ramps - Exterior : Ramp**

#### **Ramp In Front Of Classroom K1**

##### **Pedestrian Ramp**

Ramp Non-Compliance

##### **Finding**

Aspects of the ramp, in regards to surface slope, landing dimensions, landing configurations, and handrails are non-compliant.

On-Site Finding Landing exceeds 2 percent surface cross slope requirements at bottom, conflict with adjoining walkway intersection, handrails are non-existent

##### **Recommendation**

Due to extensive nature of non-compliance entire ramp replacement recommended.

Recommended See Above

##### **Costing Information**

Replace entire ramp. \$30,200





### **Ramps - Exterior : Ramp**

#### **Ramp From Classroom Wing 1-5 to Classroom Wing 6-7**

##### **Pedestrian Ramp**

Ramp Non-Compliance

##### **Finding**

Clearances at bottom landing.

On-Site Finding Level landing clearances in conflict with drinking fountain

##### **Recommendation**

Relocate handrail to eliminate conflict.

Recommended See Above

##### **Costing Information**

Relocate handrail.

\$5,850



### **Ramps - Exterior : Ramp**

#### **Ramp At Room L4**

##### **Pedestrian Ramp**

Ramp Non-Compliance

##### **Finding**

All aspects of the ramp, in regards to maximum surface slope, landing dimensions, landing configurations, and handrails are non-compliant.

On-Site Finding Surface slope 8.50 percent, landings exceed 2 percent surface cross slope requirements at bottom, strike side door clearance at top landing non-compliant, handrail configuration and extensions are non-compliant

##### **Recommendation**

Due to extensive nature of non-compliance entire ramp replacement recommended.

Recommended See Above

##### **Costing Information**

Replace entire ramp.

\$16,600



### **Stairs - Exterior : Concrete Stair**

#### **Stair To Room L4**

##### **Pedestrian Stair**

Door Landing

##### **Finding**

Step at door landing is non-compliant

On-Site Finding      Vertical rise greater  
than ½ inch

##### **Recommendation**

Recommended      Remove step and provide compliant walkway

##### **Costing Information**

Remove and replace with concrete walkway      \$8,750



### **Path of Travels - Exterior : Door Landings**

#### **Landing At Door Into Multi-Purpose Room**

##### **Landing**

Landing Non-Compliance

##### **Finding**

Landing non-compliant.

On-Site Finding      Landing at exterior door was non-  
existent

##### **Recommendation**

Provide landing.

Recommended      Replace concrete walkway to provide  
compliant landing in regards to size and surface slope

##### **Costing Information**

Replace walkway to provide landing.      \$7,750



### **Path of Travels - Exterior : Door Landings**

#### **Landing At Door Into Multi-Purpose Room**

##### **Landing**

Landing Non-Compliance

##### **Finding**

Landing non-compliant.

On-Site Finding     Landing at exterior door was non-existent

##### **Recommendation**

Provide landing.

Recommended     Replace concrete walkway to provide compliant landing in regards to size and surface slope

##### **Costing Information**

Replace walkway to provide landing.

\$7,750



### **Path of Travels - Exterior : Playground**

#### **Play Area**

##### **Ramp & Surfacing**

Ramp Non-Existent & Surfacing Non-Compliance

##### **Finding**

Ramp and play surfacing non-compliant.

On-Site Finding     Ramp into play area was non-existent, surfacing does not meet accessibility requirements

##### **Recommendation**

Provide ramp & surfacing.

Recommended     Provide concrete ramp into play area and replace sand surfacing with engineered wood fiber

##### **Costing Information**

Concrete ramp & EWF surfacing.

\$9,750



# CAMPUS ACCESSIBILITY EVALUATION & PROGRAM SITE RE-ALIGNMENT STUDY DITMAR SCHOOL

### Path of Travels - Exterior : Door Landings

## Landing At Door Into Room K1

## Landing

## Landing Non-Compliance

## Finding

Landing non-compliant.

On-Site Finding	Landing at exterior door was non-existent
-----------------	---

## Recommendation

Provide landing.

Recommended Replace asphalt paving to provide compliant landing in regards to size and surface slope

## Costing Information

Replace walkway to provide landing.

\$5,750



### **Path of Travels - Exterior : Door Landings**

## Landing At Door Into Room L2

## Landing

## Landing Non-Compliance

## Finding

Landing non-compliant.

On-Site Finding	Landing at exterior door was non-existent
-----------------	---

## Recommendation

Provide landing.

Recommended Replace concrete walkway to provide compliant landing in regards to size and surface slope

## Costing Information

Replace walkway to provide landing.

\$12,750



## **Path of Travels - Exterior : Door Landings**

### **Landing At Door Into Staff Lounge**

#### **Landing**

Landing Non-Compliance

#### **Finding**

Landing non-compliant.

On-Site Finding      Landing at exterior door was non-existent

#### **Recommendation**

Provide landing.

Recommended      Replace concrete walkway to provide compliant landing in regards to size and surface slope

#### **Costing Information**

Replace walkway to provide landing.

\$4,750



## **Stairs - Interior :**

### **Multi-Purpose Platform**

#### **Pedestrian Stair**

Riser & Handrails

#### **Finding**

The dimension of the riser and handrail are non-compliant

On-Site Finding      Tread riser is 8", handrail configuration and extensions are non-compliant

#### **Recommendation**

Replace stair and handrails.

Recommended      Provide Code compliant riser dimensions 7" maximum and handrails 12" extensions at top and 12" plus tread length bottom.

#### **Costing Information**

Stair and handrail modifications

\$12,400





### **Path of Travels - Interior : Path Of Travel , Ramps**

#### **Multi-Purpose Platform**

##### **Platform**

Ramp Requirements

##### **Finding**

Only access to platform is via steps.

On-Site Finding     There is no ramp to platform

##### **Recommendation**

Provide accessible ramp with handrails to platform.

Recommended     Provide Code compliant ramp and handrails

##### **Costing Information**

New ramp and handrails     \$20,250



### **Path of Travels - Interior : Path Of Travel , Clearances**

#### **Kitchen Serving Counter**

##### **Clear Width**

Walking surface clear width

##### **Finding**

Clear width of walking surface is non-compliant

On-Site Finding     33 inches clearance

##### **Recommendation**

Provide walking clearance that complies with door hinge approach push side clearance due to proximity of door to counter.

Recommended     Provide 44 inches clear walkway

##### **Costing Information**

Relocate serving counter     \$8,250



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Doors - Main Buildings : Door, Hardware**

**Doors On Campus**

**Door Hardware**

Lever Hardware Requirements

**Finding**

Doors at Administration, Library, and Multi-Purpose buildings have non-compliant handles.

On-Site Finding All hardware is knob type

**Recommendation**

Replace all door hardware with lever type handles.

Recommended See Above.

**Costing Information**

Install new door lever hardware at 26 doors.

\$50,700



**Doors - Main Buildings : Door , Threshold**

**Exterior Doors**

**Threshold**

Exterior Door Thresholds

**Finding**

Threshold height is non-compliant.

On-Site Finding Vertical height is between  $\frac{3}{4}$ " and 1", which exceeds  $\frac{1}{4}$ " in vertical transition

**Recommendation**

Provide  $\frac{1}{2}$  inch maximum vertical transition.

Recommended Remove and replace exterior concrete landing to comply with floor surface level requirements at maneuvering clearances, adjust bottom of door, install beveled type threshold

**Costing Information**

Threshold & door modification.

\$78,500



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Doors - Main Buildings : Door , Hardware**

**All Exterior Doors**

**Lever**

Door Opening Pressure

**Finding**

The door opening force for this door is greater than 5 pounds.

On-Site Finding 7.00 to 8.00 pounds

**Recommendation**

Adjust the closer on the door to a maximum door opening force of 5 pounds.

Recommended Up to 5.00 pounds

**Costing Information**

Adjust door closer pressure at 40 doors.

\$9,150



**Doors - Main Building : Door , Clear Width**

**Administration**

**Width**

Door opening clear width

**Finding**

All interior door openings within the Administration space do not provide a clear width of 32 inches.

On-Site Finding 29 - 31 inches

**Recommendation**

Widen door openings

Recommended Provide 36 inch wide door or 32 inch wide clear opening

**Costing Information**

Door opening adjustment – 5 doors.

\$32,500



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Doors - Main Building : Door , Clear Width**

**Library Building**

**Width**

Door opening clear width

**Finding**

Interior door openings within the Library building do not provide a clear width of 32 inches.

On-Site Finding 29 - 31 inches

**Recommendation**

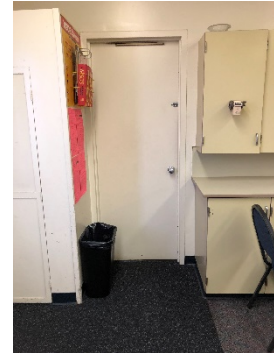
Widen door openings

Recommended Provide 36 inch wide door or 32 inch wide clear opening

**Costing Information**

Door opening adjustment – 5 doors.

\$32,500



**Doors - Main Building : Door , Clear Width**

**Kitchen**

**Width**

Door opening clear width

**Finding**

Interior door opening at restroom in Kitchen does not provide a clear width of 32 inches.

On-Site Finding 30 inches

**Recommendation**

Widen door opening

Recommended Provide 36 inch wide door

**Costing Information**

New door

\$6,500



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Doors - Main Building : Door , Latch Side Clearance**

**Classrooms 1-5**

**Push Side**

Front Approach Clear Floor Space Width

**Finding**

There is less than the required latch side clearance on the push side of the door. 12" required if door has both a latch and closer.

On-Site Finding 9 inches

**Recommendation**

Revise door hardware.

Recommended Replace latch with panic device

**Costing Information**

Install panic hardware on door

\$4,550



**Doors - Main Building : Door , Clear Floor Space**

**Exterior Door To Office**

**Push Side**

Hinge Approach Clear Floor Space Depth

**Finding**

There is not enough clear floor space provided at the push side of the door.

On-Site Finding 2 inches

**Recommendation**

Provide the recommended clear floor space on the push side of the door. Relocate wall.

Recommended At least 48.00 inches

**Costing Information**

Relocate wall to provide proper clear space.

\$22,500





**Doors - Main Building : Door , Latch Side Clearance**

**Library**

**Pull Side**

Front Approach Clear Floor Space Width

**Finding**

There is not enough clear floor space provided at the pull side of the door.

On-Site Finding     4 inches

**Recommendation**

Provide the required floor space on the pull side of the door.  
Adjust shelving.

Recommended     At least 18 inches

**Costing Information**

Modify shelving.

\$2,300



**Doors - Main Building : Door , Latch Side Clearance**

**Door Between Multi-Purpose & Kitchen**

**Pull Side**

Front Approach Clear Floor Space Width

**Finding**

There is not enough clear floor space provided at the pull side of the door.

On-Site Finding     6 inches

**Recommendation**

Provide the required floor space on the pull side of the door.  
Relocate door.

Recommended     At least 18 inches

**Costing Information**

Relocate door.

\$7,050



**Doors - Main Building : Door , Latch Side Clearance**

**Kitchen To Hallway**

**Push Side**

Front Approach Clear Floor Space Width

**Finding**

There is less than the required latch side clearance on the push side of the door. 12" required if door has both a latch and closer.

On-Site Finding 4 inches

**Recommendation**

Remove closer.

Recommended See above.

**Costing Information**

Remove closer.

\$1,550



**Doors - Main Building : Door , Latch Side Clearance**

**Exterior Door at Room K2**

**Push Side**

Front Approach Clear Floor Space Width

**Finding**

There is less than the required latch side clearance on the push side of the door. 12" required if door has both a latch and closer.

On-Site Finding 5 inches

**Recommendation**

Revise door hardware.

Recommended Replace latch with panic device

**Costing Information**

Install panic hardware on door.

\$4,550



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Counters - Office : Counter**

**Office Counter**

**Height**

Counter Height

**Finding**

The height of the counter or desk does not comply with height requirements. No equivalent facilitation is provided in the area.

On-Site Finding 42.00 inches

**Recommendation**

Provide at least a 36" wide portion at the compliant height.

Recommended 28.00 - 34.00 inches

**Costing Information**

Provide compliant counter.

\$5,525



**Counters - Office : Counter**

**Office Counter**

**Height**

Counter Height

**Finding**

The height of the counter or desk does not comply with height requirements. No equivalent facilitation is provided in the area.

On-Site Finding 42.00 inches

**Recommendation**

Provide at least a 36" wide portion at the compliant height.

Recommended 28.00 - 34.00 inches

**Costing Information**

Provide compliant counter.

\$5,525



### **Counters – Staff Lounge : Counter**

#### **Counter Staff Lounge**

##### **Height**

Counter Height

##### **Finding**

The height of the counter does not comply with height requirements. No equivalent facilitation is provided in the area.

On-Site Finding 36.00 inches

##### **Recommendation**

Replace base cabinet casework

Recommended 34.00 inches high

##### **Costing Information**

Provide compliant base cabinet casework.

\$12,900



### **Counters – Staff Room : Counter**

#### **Counter**

##### **Height**

Counter Height

##### **Finding**

The height of the counter does not comply with height requirements. No equivalent facilitation is provided in the area.

On-Site Finding 36.00 inches

##### **Recommendation**

Replace base cabinet casework.

Recommended 34.00 inches

##### **Costing Information**

Provide compliant base cabinet casework

\$19,250



### **Counters – Workroom : Counter**

#### **Counter**

##### **Height**

Counter Height

##### **Finding**

The height of the counter does not comply with height requirements. No equivalent facilitation is provided in the area.

On-Site Finding 36.00 inches

##### **Recommendation**

Replace base cabinet casework

Recommended 34.00 inches high

##### **Costing Information**

Provide compliant base cabinet casework.

\$10,950



### **Counters – Kitchen : Counter**

#### **Counter**

##### **Height**

Knee Clearance

##### **Finding**

The height of the knee clearance at the counter does not comply with height requirements.

On-Site Finding 25.00 inches

##### **Recommendation**

Provide accessible workstation.

Recommended 34.00 inches high, 36" wide, 27" clear knee space

##### **Costing Information**

Provide compliant workstation

\$6,750





### **Counters – Room L3: Counter**

#### **Counter**

#### **Height**

Counter Height

#### **Finding**

The height of the counter does not comply with height requirements. No equivalent facilitation is provided in the area.

On-Site Finding 36.00 inches

#### **Recommendation**

Replace base cabinet casework

Recommended 34.00 inches high

#### **Costing Information**

Provide compliant base cabinet casework.

\$7,750



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Signage - Exterior & Interior: ISA & Identification**

**Room Signage**

**Identification Devices**

No Accessible Element/Entrance /Room Signage

**Finding**

There is no ISA or room signage on entire campus.

On-Site Finding     None Found

**Recommendation**

Install accessible room signage at all doors on entire campus.

Recommended     See Above

**Costing Information**

Provide compliant signage campus-wide     \$20,250



**Signage - Exterior & Interior: Restrooms**

**Restroom Geometric Symbol Signage**

**Identification Devices**

Symbol Signage / Non-Compliant at Restrooms

**Finding**

Symbol signage or non compliant signage at all restrooms on campus.

On-Site Finding     None Found

**Recommendation**

Install compliant symbol signage.

Recommended     See Above

**Costing Information**

Provide compliant signage campus-wide.     \$2,500



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Restrooms - Main Building : Administration**

**Staff Restroom**

**Compliant Restroom**

Compliant Restroom Required

**Finding**

Due to the age of the facility (1940's) and the fact that the restroom has never been modernized, full compliance will entail complete upgrading of the restroom.

On-Site Finding Non-compliant issues include paths of travel within the restroom, maneuvering clear floor spaces, clear floor space at door, insufficient clear floor space for toilet, accessible toilet seat height and location dimensions, accessible lavatory mounting heights and knee clearance, no grab bars, and mounting height dimensions of toilet accessories

**Recommendation**

Existing Staff accessible restrooms exist on campus at Library Building.

Recommended Close restroom / remove restroom from service

**Costing Information**

Restroom removal.

\$7,500



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Restrooms - Main Building : Administration**

**Old Nurses Office Restroom**

**Compliant Restroom**

Compliant Restroom Required

**Finding**

Due to the age of the facility (1940's) and the fact that the restrooms have never been modernized, full compliance will entail complete upgrading of the restroom.

On-Site Finding Non-compliant issues include paths of travel within the restroom, maneuvering clear floor spaces, clear floor space at door, insufficient clear floor space for toilet, accessible toilet seat height and location dimensions, accessible lavatory mounting heights and knee clearance, no grab bars, non-compliant shower stall, and mounting height dimensions of toilet accessories

**Recommendation**

Remove shower and remodel entire restroom to provide full compliance.

Recommended See Above

**Costing Information**

Restroom upgrade / remodel.

\$289,500



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Restrooms - Main Building : Student Restroom**

**Restrooms At Room K2**

**Compliant Restroom**

Compliant Restroom Required

**Finding**

Due to the age of the facility (1940's) and the fact that the restrooms have never been modernized, full compliance will entail complete upgrading of the restrooms.

On-Site Finding Non-compliant issues include paths of travel within the restroom, maneuvering clear floor spaces, clear floor space at door, accessible toilet configuration and dimensions, insufficient clear floor space for toilet, accessible toilet seat height and location dimensions, no grab bars, and mounting height dimensions of toilet accessories

**Recommendation**

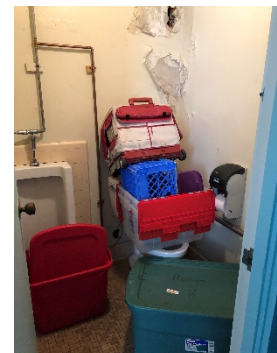
Remove one restroom and remodel one entire restroom to provide unisex full compliance.

Recommended See Above

**Costing Information**

Restroom upgrade / remodel.

\$225,500





CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Restrooms - Main Building : Staff Restroom**

**Women's Restroom At Multi-Purpose Building**

**Compliant Restroom**

Compliant Restroom Required

**Finding**

Due to the age of the facility (1940's) and the fact that the restrooms have never been modernized, full compliance will entail complete upgrading of the restroom.

On-Site Finding Non-compliant issues include paths of travel within the restroom, maneuvering clear floor spaces, clear floor space at door, accessible toilet configuration and dimensions, insufficient clear floor space for toilet, accessible toilet seat height and location dimensions, accessible lavatory mounting heights and knee clearance, grab bar sizes and mounting locations, and mounting height dimensions of toilet accessories

**Recommendation**

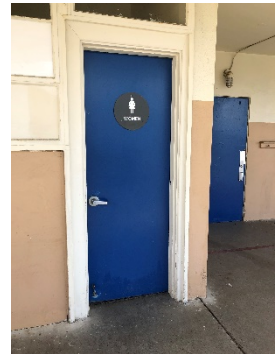
Existing Staff accessible restrooms exist on campus at Library Building.

Recommended Close restroom / remove restroom from service

**Costing Information**

Restroom removal.

\$7,500



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Restrooms - Main Building : Staff Restroom**

**Men's Restroom At Multi-Purpose Building**

**Compliant Restroom**

Compliant Restroom Required

**Finding**

Due to the age of the facility (1940's) and the fact that the restrooms have never been modernized, full compliance will entail complete upgrading of the restroom.

On-Site Finding Non-compliant issues include paths of travel within the restroom, maneuvering clear floor spaces, clear floor space at door, accessible toilet configuration and dimensions, insufficient clear floor space for toilet, accessible toilet seat height and location dimensions, accessible lavatory mounting heights and knee clearance, grab bar sizes and mounting locations, and mounting height dimensions of toilet accessories

**Recommendation**

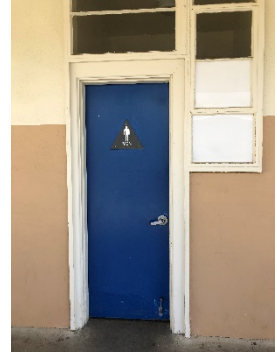
Existing Student accessible restrooms exist on campus at Library Building.

Recommended Close restroom / remove restroom from service

**Costing Information**

Restroom removal.

\$7,500



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Restrooms - Main Building : Restrooms**

**Unisex Restrooms At L3**

**Compliant Restroom**

Compliant Restroom Required

**Finding**

Non-compliant restroom.

On-Site Finding Non-compliant issues include paths of travel within the restroom, maneuvering clear floor spaces, clear floor space at door, accessible toilet configuration and dimensions, insufficient clear floor space for toilet, accessible toilet seat height and location dimensions, grab bar sizes and mounting locations, and mounting height dimensions of toilet accessories

**Recommendation**

Existing Student accessible restrooms exist on campus at Classroom Building 6-10

Recommended Close restroom / remove restroom from service

**Costing Information**

Restroom removal.

\$9,500



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Restrooms - Main Building : Unisex Restroom**

**Restroom at Kitchen**

**Compliant Restroom**

Compliant Restroom Required

**Finding**

Due to the age of the facility (1940's) and the fact that the restrooms have never been modernized, full compliance will entail complete upgrading of the restroom.

On-Site Finding Non-compliant issues include paths of travel within the restroom, maneuvering clear floor spaces, clear floor space at door, insufficient clear floor space for toilet, accessible toilet seat height and location dimensions, accessible lavatory mounting heights and knee clearance, no grab bars, and mounting height dimensions of toilet accessories

**Recommendation**

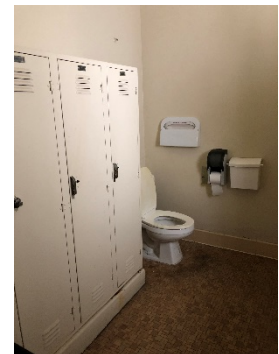
Remodel entire restroom to provide full compliance.

Recommended See Above

**Costing Information**

Restroom upgrade / remodel.

\$195,500



## **Drinking Fountains - Exterior : Drinking Fountain**

### **Drinking Fountain Outside Of K2**

#### **Wall Mounted Drinking Fountain**

Dual-Height Drinking Fountain

##### **Finding**

Drinking fountain is non-compliant.

On-Site Finding     Compliant dual-height fountain is not provided, pedestrian protection is not provided

##### **Recommendation**

Install a "high-low" fountain design to comply with both state and federal requirements. If the drinking fountain is not set in an alcove it shall provide a side rail or wing wall next to each side of the fountain to prevent it from protruding into the primary path of travel.

Recommended     See Above

##### **Costing Information**

Install new high/low fountain / side rails.     \$15,500



## **Drinking Fountains - Interior : Drinking Fountain**

### **Drinking Fountain At K2**

#### **Wall Mounted Drinking Fountain**

Dual-Height Drinking Fountain

##### **Finding**

Drinking fountain is non-compliant.

On-Site Finding     Compliant dual-height fountain is not provided, pedestrian protection is not provided

##### **Recommendation**

Install a "high-low" fountain design to comply with both state and federal requirements. If the drinking fountain is not set in an alcove it shall provide a side rail or wing wall next to each side of the fountain to prevent it from protruding into the primary path of travel.

Recommended     See Above

##### **Costing Information**

Install new high/low fountain / side rails.     \$15,500



## **Fire Extinguishers : Mounting Height & Projection**

### **Fire Extinguishers Campus-Wide**

#### **Fire Extinguisher**

Mounting

#### **Finding**

Mounting heights and projections from wall are non-compliant

On-Site Finding Mounting height from finish floor to handles exceeds 48 inches, 6 inches projection at all extinguishers on campus.

#### **Recommendation**

Provide semi-recessed fire extinguisher cabinets mounted so that extinguisher handles are 48 inches maximum from finish floor.

Recommended See Above

#### **Costing Information**

New semi-recessed fire extinguisher cabinets (20). \$45,000



## **Sinks - Main Building : Sink**

### **Kitchen**

#### **Sink Cabinet**

Pipe Protection

#### **Finding**

Sink pipe protection is non-compliant.

On-Site Finding No pipe protection.

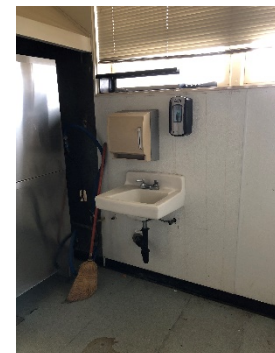
#### **Recommendation**

Provide pre-formed pipe insulation.

Recommended See Above

#### **Costing Information**

Pre-formed pipe insulation \$3,500





### **Sinks - Main Building : Sink Casework**

#### **Classrooms 1-10**

##### **Sink Cabinet**

Height, Knee Clearance, and Pipe Protection

##### **Finding**

Sink height and knee clearance are non-compliant.

On-Site Finding 26 inches high, no knee space.

##### **Recommendation**

Provide compliant sink cabinet 34 inches high with 30 inches wide by 27 inches high clear knee space with angled panel to cover pipes under the sink to protect against contact. Make certain there are no sharp or abrasive surfaces under the sink.

Recommended See Above

##### **Costing Information**

New sink cabinet – 10 sinks

\$122,500



### **Sinks - Main Building : Sink Casework**

#### **Administration**

##### **Sink Cabinet**

Height, Knee Clearance, and Pipe Protection

##### **Finding**

Sink height and knee clearance are non-compliant.

On-Site Finding 36 inches high, no knee space.

##### **Recommendation**

Provide compliant sink cabinet 34 inches high with 30 inches wide by 27 inches high clear knee space with angled panel to cover pipes under the sink to protect against contact. Make certain there are no sharp or abrasive surfaces under the sink.

Recommended See Above

##### **Costing Information**

New sink cabinet

\$12,250



# CAMPUS ACCESSIBILITY EVALUATION & PROGRAM SITE RE-ALIGNMENT STUDY DITMAR SCHOOL

## **Sinks - Main Building : Sink Casework**

## Room K1

## Sink Cabinet

## Height, Knee Clearance, and Pipe Protection

## Finding

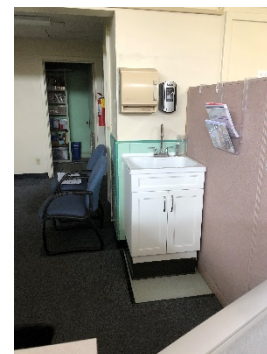
Sink height and knee clearance are non-compliant.

On-Site Finding	36 inches high, non-compliant knee space.
-----------------	---

## Recommendation

Provide compliant sink cabinet 34 inches high with 30 inches wide by 27 inches high clear knee space with angled panel to cover pipes under the sink to protect against contact. Make certain there are no sharp or abrasive surfaces under the sink.

Recommended See Above



## Costing Information

New sink cabinet	\$12,250
------------------	----------

## Sinks - Main Building : Sink Casework

## Book Room

## Sink Cabinet

## Height, Knee Clearance, and Pipe Protection

## Finding

Sink height and knee clearance are non-compliant.

On-Site Finding 36 inches high, non-compliant knee space.

## Recommendation

Provide compliant sink cabinet 34 inches high with 30 inches wide by 27 inches high clear knee space with angled panel to cover pipes under the sink to protect against contact. Make certain there are no sharp or abrasive surfaces under the sink.

Recommended See Above



## Costing Information

New sink cabinet	\$12,250
------------------	----------



### **Sinks - Main Building : Sink Casework**

#### **Workroom At Library Building**

##### **Sink Cabinet**

Height, Knee Clearance, and Pipe Protection

##### **Finding**

Sink height and knee clearance are non-compliant.

On-Site Finding 36 inches high, no knee space.

##### **Recommendation**

Provide compliant sink cabinet 34 inches high with 30 inches wide by 27 inches high clear knee space with angled panel to cover pipes under the sink to protect against contact. Make certain there are no sharp or abrasive surfaces under the sink.

Recommended See Above

##### **Costing Information**

New sink cabinet \$12,250



### **Sinks - Main Building : Sink Casework**

#### **Room K2**

##### **Sink Cabinet**

Height, Knee Clearance, and Pipe Protection

##### **Finding**

Sink height and knee clearance are non-compliant.

On-Site Finding 36 inches high, no knee space.

##### **Recommendation**

Provide compliant sink cabinet 34 inches high with 30 inches wide by 27 inches high clear knee space with angled panel to cover pipes under the sink to protect against contact. Make certain there are no sharp or abrasive surfaces under the sink.

Recommended See Above

##### **Costing Information**

New sink cabinet \$12,250



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Sinks - Main Building : Sink**

**Room K2**

**Lavatory**

Height, Knee Clearance, and Pipe Protection

**Finding**

Sink height and knee clearance are non-compliant.

On-Site Finding 26 inches high, 22 inches clear  
non-compliant knee space.

**Recommendation**

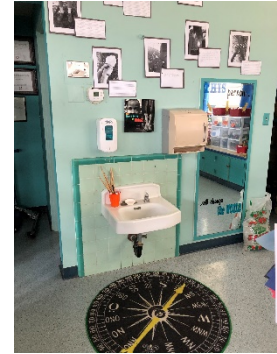
Provide compliant sink 34 inches high with 30 inches wide by 27  
inches high clear knee space with insulation to cover pipes under  
the sink to protect against contact. Make certain there are no sharp  
or abrasive surfaces under the sink.

Recommended See Above

**Costing Information**

New sink

\$6,550



**Sink Accessories - Main Building : Reach Range**

**Campus Wide**

**Accessories**

Paper Towel and Soap Dispensers

**Finding**

Sink accessories are not within required reach ranges.

On-Site Finding Located greater than 40 inches  
above finish floor.

**Recommendation**

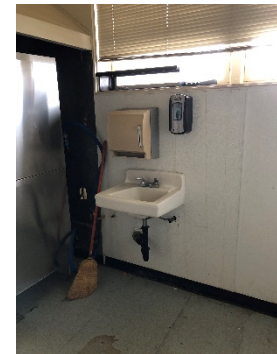
Locate all accessories mounted to 40 inches above finish floor.

Recommended See Above

**Costing Information**

Mount accessories

\$5,000



**Electrical Switches - Main Building : Reach Range**

**Multi-Purpose – K2 Building**

**Switches**

Mounting Height

**Finding**

Mounting height of all light switches is not within compliant reach range

On-Site Finding      Greater than 48 inches to centerline of switch.

**Recommendation**

Move switches to comply with reach range.

Recommended      48 inches above finish floor

**Costing Information**

Relocate switches

\$15,500



**Assistive Listening System - Main Building :**

**Assembly Room 1**

**Receivers**

Quantity of Receivers

**Finding**

Assistive Listening System is not present.

On-Site Finding      No system.

**Recommendation**

Provide ALS with minimum number of receivers to equal 4 percent of total seating.

Recommended      See Above

**Costing Information**

Provide ALS

\$16,500





CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

**Fire Alarm System – Campus-Wide :**

**Voice Evacuation**

**Audible Notification**

Voice evacuation

**Finding**

Automatic fire alarm system is non-existent on campus.

On-Site Finding     No voice evacuation fire alarm.

**Recommendation**

Install new fire alarm system campus wide to provide voice evacuation.

Recommended     See Above

**Costing Information**

Install fire alarm system.

\$225,000



**Restroom Accessories - Main Building : Reach Range**

**Student & Staff Restrooms**

**Accessories**

Paper Towel Dispensers

**Finding**

Sink accessories are not within required reach ranges.

On-Site Finding     Located greater than 40 inches above finish floor.

**Recommendation**

Locate all accessories mounted to 40 inches above finish floor.

Recommended     See Above

**Costing Information**

Mount accessories

\$5,000



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

### **BUDGETARY COST ANALYSIS – ACCESSIBILITY UPGRADES**

Costs presented are in a “Rough Order of Magnitude” (ROM) format and are not intended to be actual construction costs and are not intended to be comprehensive or definitive. Construction cost presented is conceptual in nature and should be utilized for budgetary planning purposes only. Soft costs, which generally include architectural, engineering, inspection, project administration and pre / post construction expenses are included in the overall project total.

Item	Amount	Cost Per	Total
Accessibility Upgrades to Campus Identified in Preceding Survey	LS	\$1,938,875	\$1,938,875
Construction Sub-Total			\$1,938,875
Owner and Design Team Contingency 7%			\$135,721
Construction Contingency 7%			\$135,721
Governing Agency Contingency 5%			\$96,944
Cost Escalation 3% (Assumed Construction Start 2020)			\$58,166
General Conditions 10%			\$193,888
Subtotal + General Conditions + Contingency			\$2,559,315
Contractor's Bonds and Insurance 2%			\$51,186
<b>Budgetary Estimate - Construction Total</b>			<b>\$2,610,501</b>
Estimated Soft Costs 30%			\$783,150
<b>Budgetary Estimate - Full Project Total</b>			<b>\$3,393,652</b>

## **PROGRAM SITE RE-ALIGNMENT STUDY**

### **Objective:**

The following study has been performed with the intent to examine a school program realignment from a master site planning perspective. This study presents one possibility to the physical placement of various existing School District programs, which are currently housed throughout the District, to be relocated to the Ditmar Elementary School site.

### **Program & Methodology:**

The first step in the site planning process was to identify the various programs to be housed on the Ditmar school site. Those programs would be:

- The Adult Transition Scholars, currently on the Ditmar site.
- The K-5 Independent Study/Home School, currently on the Ditmar site.
- The Alternative Education Program, currently on the Clair Burgener campus.
- The Continuation High School Program, currently on the Ocean Shores H.S. campus.
- The Teen Parent Program, currently on the Ocean Shores H.S. campus.
- The Alternative to Suspension (ATS) Program, currently on the Ocean Shores H.S. campus.

Additionally, the quantity of spaces required for each school program was established from District input. The site planning is based on the following programmed spaces:

- Adult Transition Scholars – 5 classroom spaces, currently in Rooms 1-5 on the Ditmar site.
- K-5 Independent Study/Home School – 1 classroom space, currently in Room K2 on the Ditmar site.
- Alternative Education Program – 6 classroom spaces
- Continuation High School Program – 4 classroom spaces
- Teen Parent Program – 1 daycare space
- Alternative to Suspension Program – 2 classroom spaces
- Administration (To serve all programs on site)
- Teacher Support Services (Workroom, Lounge)
- Student Support Services (Health Office)
- Library
- Multi-Purpose Room
- Food Services
- Restrooms (Staff and Students)

With a defined basis of design, the site realignment analysis was approached with the intent of grouping the programs together to create “villages” for each specific program on the existing school site. Additionally, where existing school functions existed on the site, an attempt was made to retain those facilities to maximize efficiencies in program re-alignment economics.

Based upon field observations related to the preceding accessibility analysis, it should be noted that due to extensive non-compliant issues within the existing administration space, the administration function for the site is indicated to be located in Building K1. Building K1 is currently being used for the District’s Nutrition Services offices. In the re-alignment these offices are scheduled to be relocated from the campus. This is presented as an option to minimize costs related to accessibility compliance.

CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

It should also be noted that there are two existing unisex accessible staff restrooms on site that will require only minor modifications for accessibility compliance with current regulations. In addition to the staff restrooms, there are also two each accessible student boy's and girl's restrooms on site that will require only minor modifications for accessibility compliance with current regulations.

Opinion of Estimated Budgetary Construction Cost:

Furthermore, this report applies estimated budgetary construction costs associated with the placement / relocation of District owned relocatable buildings and/or new relocatable buildings for planning purposes. ***Since improvement requirements for the spaces as it relates to the specific programs have not been defined, those costs are not reflected in this study.*** Costs presented are in a "Rough Order of Magnitude" (ROM) format and are not intended to be actual construction costs and are not intended to be comprehensive or definitive

Proposed Site Concept Master Plan and Narrative:

A concept master site plan is presented, which encompasses the following parameters:

- Diagrammatic Concept Site Plan overlaid on campus satellite map.
- School Program locations identified to be housed in existing facilities.
- Adult Transition Scholar Program five classrooms to remain where currently located.
- K-5 Independent Study / Home School Program space to remain where currently located.
- Placement of the Alternative Education Program six classrooms into existing classroom spaces on the campus.
- Placement of the Alternative to Suspension Program into existing spaces on the campus.
- Relocation of two (2) 24'x40' relocatable classrooms from Ocean Shores High School for the Continuing Education Program.
- Addition of two (2) new 24' x 40' relocatable classrooms for the Continuing Education Program.
- Relocation of existing Teen Parent Program relocatable from Ocean Shores High School.
- Relocation of existing site Administration to Building K1 with the concept of using moveable office partitions / furniture to define the interior spaces, thereby minimizing permanent construction.
- Utilization of the existing staff and student accessible restrooms.
- Existing Library space to remain.
- Existing Health Office adjacent to Library to remain.
- Existing Teacher Support Services (Workroom and Lounge) spaces to remain.
- Existing Multi-Purpose and Food Services spaces to remain.



# SITE CONCEPT MASTER PLAN



CAMPUS ACCESSIBILITY EVALUATION &  
PROGRAM SITE RE-ALIGNMENT STUDY  
DITMAR SCHOOL

### BUDGETARY COST ANALYSIS – PROGRAM SITE RE-ALIGNMENT

Costs presented are in a “Rough Order of Magnitude” (ROM) format and are not intended to be actual construction costs and are not intended to be comprehensive or definitive. Construction cost presented is conceptual in nature and should be utilized for budgetary planning purposes only. This analysis only reflects the moving and site placement costs associated with the relocation of existing School District owned portable buildings and the purchase and site placement costs associated with new portable classroom buildings as required by the conceptual site master plan. Other site or building improvements are not reflected in this cost analysis, since the scoping is undetermined at this time. Soft costs, which generally include architectural, engineering, inspection, project administration and pre / post construction expenses are included in the overall project total.

Item	Amount	Cost Per	Total
Relocate 24'x40' Portable Classroom	2	\$130,000	\$260,000
Relocate 72'x40' Child Care Portable	1	\$750,000	\$750,000
New 24'x40' Portable Classroom	2	\$200,000	\$400,000
Construction Sub-Total			\$1,410,000
Owner and Design Team Contingency 7%			\$98,700
Construction Contingency 7%			\$98,700
Governing Agency Contingency 5%			\$70,500
Cost Escalation 3% (Assumed Construction Start 2020)			\$42,300
General Conditions 10%			\$141,000
Subtotal + General Conditions + Contingency			\$1,861,200
Contractor's Bonds and Insurance 2%			\$37,224
<b>Budgetary Estimate - Construction Total</b>			<b>\$1,898,424</b>
Estimated Soft Costs 30%			\$569,527
<b>Budgetary Estimate – Portable Classroom Additions</b>			<b>\$2,467,951</b>





# EXHIBIT C

## Site Assessment: RFP 2021-21-021P Architectural Services-Meeting Sign-In Sheet

Project: RFP 2021-21-021P RFP for Arch. Services for Modernization of Surfside Educational Academy

Facilitator: CCM/MAAS, Oceanside USD

Place/Room: Surfside Educational Academy - 1125 S. Ditmar Street Oceanside, CA 92054

Date: December 07<sup>th</sup> 2021

Time: 10:00 AM

PRINT NAME	ORGANIZATION	TITLE	PHONE	EMAIL
1. Nick McGrew	CCM/MAAS	Arch. Proj. Mgr	310 903 6614	
2. BRUCE KIRBY	BKF ENYR	ASSOC./PM	949 573 1369	BKIRBY@BKF.COM
3. CHRISTOPHER COYLE	SJA-ARCHITECT	PM	949 809-3360	CCOYLE@SJA-ARCHITECTS.COM
4. Annee Rosenthal-Hall	OBR	PRINCIPAL	619 564 7586	rosenthal@obrarchitecture.com
5. AMMAR SANSAM	HPI	PRINCIPAL	949 500 5833	asansam@hpiarchitecture.com
6. RITINHA FERNANDES	HPI	DESIGNER	619-655-9247	rfernandes@hpiarchitecture.com
7. Steven Prince	Rohnau Clarke Architects	Managing Principal	760 424 3721	sprince@rohrnauc Clarke.com
8. DAVID EAVES	LPA	PRINCIPAL	949 701 4029	DEAVES@LPAINC.COM
9. JOSE VIDELA	PBK	MANAGING PRINCIPAL	858 922-1995	jose.videla@pbk.com
10. JAMES MASON	PBK	PM	210 861 8786	james.mason@pbk.com
11. CHUCIE FORTE	PBK	ARCHITECT	619 200-1140	chucie.forte@pbk.com
12. PAUL GARCIGOS	ALPHA STUDIO DESIGN	ARCHITECT	760 431-2444	paul@alpha2studio-design.com
13. MATT KURTZ	SNIPES-DYE ASSOC	CIVIL ENGR	619 677-9234	matt@snipesdye.com
14. KEVIN S. FLEMING	DLR GROUP	ARCH	949 285-2427	KFLEMING@DLRGROUP.COM

15.	Brenda Brewer	aark engineering	structural	619-383- 6554	brewer@aarkengineering.com
16.	LEO JOHNSON	PJM	Arch	919-275- 5711	leo@pjm.com
17.	JOSH MEYER	OUSD	PM	760 583-6064	
18.	PATRICK FAULKNER	CCM/MAS-BOND	CM	785 534-7291	pfaulkner@califcm.com
19.	MARVIN J. REYER	CCM/MAS-BOND	SEM	619 906 2519	MARVIN.REYER@OSIDU.EDU
20.	Kevin Wilkerson	MAI	ARCH	949 400 4550	KWILKESON@MORRISSEYAI.COM
21.	Rae Ferriolo	Coffman Engineers	Elec/Fire	619-642-2049	rae.ferriolo@coffman.com
22.	Marie Biaggi	Obr ARCHITECTURE	ARCH	619 573-0345	biaggi@obrarchitecture.com
23.	Lauren Ballard	Obr arch	arch	619 573 0345	ballard@obrarchitecture.com
24.					
25.					
26.					
27.					
28.					
29.					
30.					