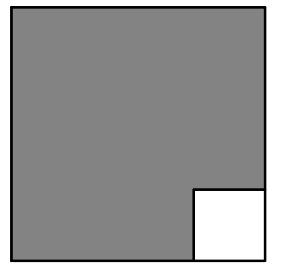


GYM CLERESTORY WINDOW REPLACEMENT OCEANSIDE HIGH SCHOOL

ALPHASTUDIO DESIGN GROUP



6152 INNOVATION WAY
CARLSBAD, 92009
760-431-2444
www.alphastudio-design.com

ARCHITECT OF RECORD



ENGINEER OF RECORD

SHEET INDEX

SHEET TOTAL: 7

ARCHITECTURAL

COVER SHEET & GENERAL INFO

- T-001 COVER SHEET
- T-002 APPLICABLE CODES AND STANDARDS
- T-003 ABBREVIATIONS

SITE PLANS

- A-101 OVERALL SITE PLAN

ROOF PLAN

- A-801 ROOF DEMOLITION PLAN
- A-802 NEW WORK ROOF PLAN
- A-803 ROOF DETAIL

PROJECT DIRECTORY

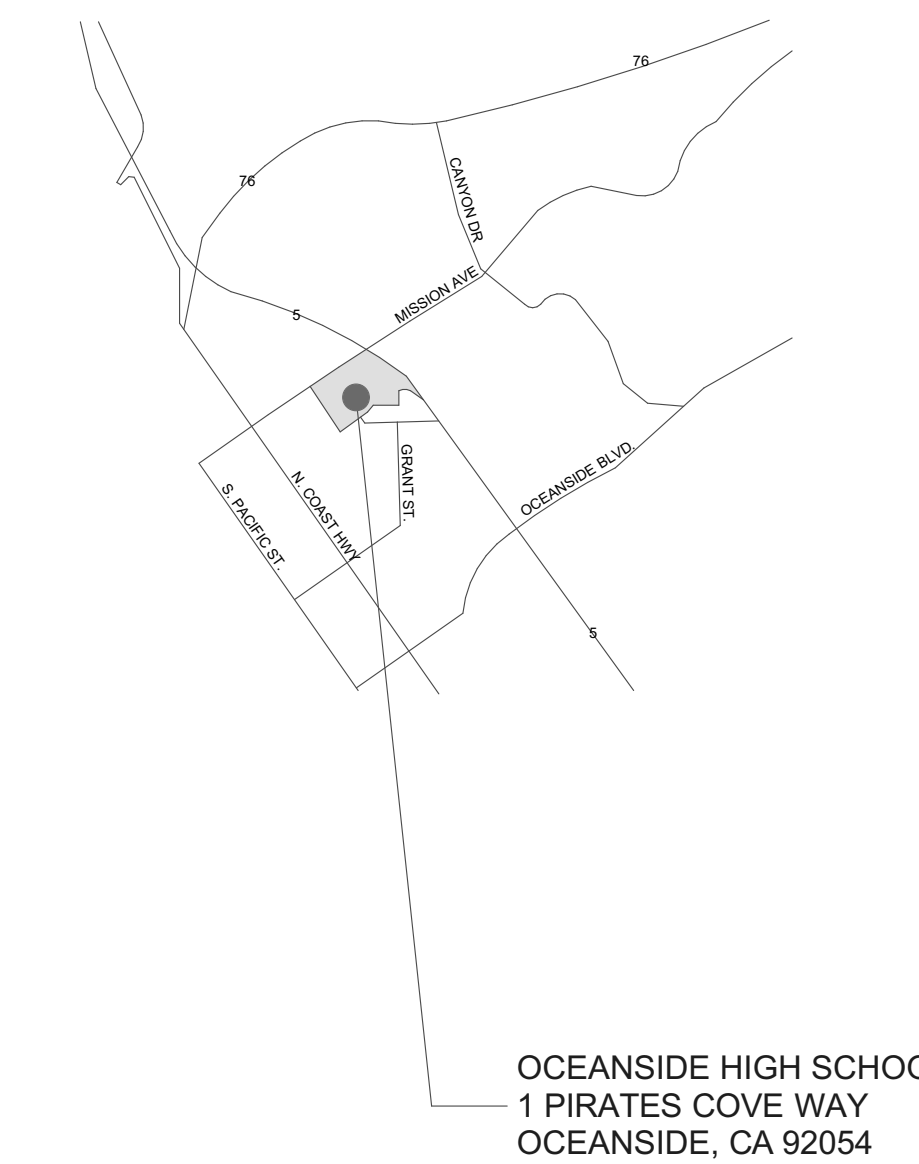
CLIENT:
OCEANSIDE UNIFIED SCHOOL
DISTRICT
2111 MISSION AVE
OCEANSIDE, CA
92058

ARCHITECT:
ALPHASTUDIO DESIGN GROUP
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CARLSBAD, CALIFORNIA 92009
P: 760-431-2444

PROJECT SCOPE

THE SCOPE OF THIS PROJECT INCLUDES THE REPLACEMENT OF EXISTING GYM ROOF CLERESTORY WINDOW GLAZING WITH NEW ALUMINUM FRAME WINDOW SYSTEM.

VICINITY MAP



**GYM CLERESTORY WINDOW
REPLACEMENT**
OCEANSIDE HIGH SCHOOL
1 PIRATES COVE WAY
OCEANSIDE, CA 92054
OCEANSIDE UNIFIED SCHOOL DISTRICT
2111 MISSION AVE OCEANSIDE CA 92058

REVISIONS		
MARK	DATE	DESCRIPTION

PROJECT NO: 22-002
MODEL FILE:
22-002 OUSD OHS Gym Clerestory Window Replacement.pln

PLOT DATE:
3/7/2022

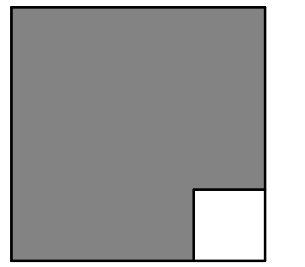
SHEET TITLE

COVER SHEET

T-001

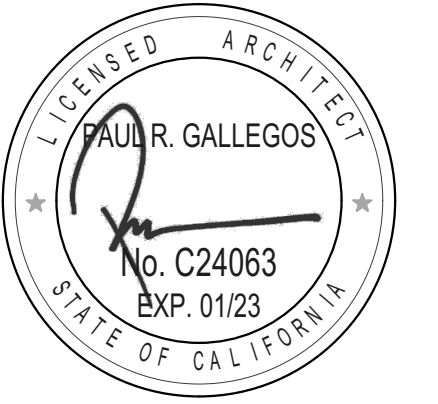
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GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE CODES LISTED ON THIS SHEET. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH ALL CODES AND ORDINANCES, CITY OR STATE AS REQUIRED FOR THE CONSTRUCTION OF THE FOLLOWING PROJECT. WHERE CONFLICTS OCCUR BETWEEN FEDERAL, STATE, AND LOCAL LAWS, CODES, ORDINANCES, AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF BOTH THE UNIFORM BUILDING CODE AND TITLE 24, CALIFORNIA CODE OF REGULATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF WORK. THE EXISTING CONDITIONS SHALL INCLUDE, BUT NOT BE LIMITED TO: IRRIGATION, DRAINAGE, SITE MECHANICAL, PLUMBING, AND ELECTRICAL. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN SITE CONDITIONS AND CONTRACT DOCUMENTS. FAILURE TO NOTIFY WHILE PROCEEDING WITH WORK SHALL IMPLY ACCEPTANCE OF THE SITE CONDITIONS BY THE CONTRACTOR FOR THE WORK INTENDED.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE AND SAFE BRACING TO SUPPORT THE COMPONENTS OF THE STRUCTURE UNTIL THE STRUCTURE ITSELF, FLOOR AND ROOF DIAPHRAGMS ARE COMPLETE ENOUGH TO SUPPORT ITSELF. THE SAFETY AND ERECTION OF BRACING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THERE ARE NO DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEER'S DRAWINGS WHICH WOULD CAUSE A CONFLICT IN THE INSTALLATION OF THE SYSTEMS. IF SUCH A CONFLICT DOES OCCUR, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ALERT THE ARCHITECT TO THE SITUATION PRIOR TO INSTALLATION. ANY WORK INSTALLED IN CONFLICT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMEDY WITH NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR A COMPLETE LIST OF GENERAL CONDITIONS, SPECIAL CONDITIONS, AND MATERIAL INSTALLATION METHODOLOGY.
- TYPICAL NOTES AND DETAILS SHALL APPLY UNLESS SHOWN OTHERWISE. WHERE A CONSTRUCTION DETAIL IS NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR A SIMILAR CONDITION.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, SERVICES, POINTS OF CONNECTION, AND IRRIGATION LINES IN THE CONSTRUCTION AREA PRIOR TO COMMENCEMENT OF WORK. IF PROPER VERIFICATION IS NOT DONE PRIOR TO WORK COMMENCING, AND DAMAGE IS INCURRED THE CONTRACTOR SHALL REPAIR THE DAMAGE AT NO COST TO THE OWNER.
- ALL DRAWINGS ARE FOR ILLUSTRATION ONLY. THE CONTRACTOR AND SUBCONTRACTORS, SHALL NOT LOCATE ITEMS BY SCALING. IF ITEMS ARE MISLOCATED DUE TO SCALING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND CORRECTLY INSTALLING THE ITEMS AT NO EXPENSE TO THE OWNER.
- IT IS THE INTENT OF THESE DRAWINGS TO INDICATE A COMPLETE AND FINISHED PRODUCT AND/OR ABUTTING EXISTING CONDITION IN A FINISHED AND PROFESSIONAL MANNER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP THE AREA AROUND THE WORK IN A CLEAN AND SAFE CONDITION. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER. AREA OF WORK SHALL BE COMPLETELY CLEANED AND READY FOR OCCUPANCY UPON COMPLETION OF WORK.
- ALL WORK SHALL CONFORM TO TITLE 24 CA CODE OF REGULATIONS. A COPY OF TITLE 24, PARTS 1-5, SHALL BE AVAILABLE ON THE JOBSITE AT ALL TIMES.
- CHANGES TO THE APPROVED DRAWINGS SHALL BE MADE BY ADDENDA OR CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY DSA, AS REQUIRED BY SEC. 4-338, PART 1, T-24, CCR. ALL ADDENDA AND CONSTRUCTION CHANGE DOCUMENTS SHALL BE SIGNED BY THE ARCHITECT.
- A PROJECT INSPECTOR EMPLOYED BY THE OWNER AND APPROVED BY DSA, ARCHITECT OF RECORD & STRUCTURAL ENGINEER OF RECORD (WHERE APPLICABLE), SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342 PART 1, T-24 CCR. THE INSPECTOR SHALL BE A CLASS 3.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE OWNER SHALL CONDUCT ALL REQUIRED TESTING AND SPECIAL INSPECTIONS FOR THE PROJECT AS IDENTIFIED ON THE DSA 103 TESTING AND INSPECTION FORM.
- THE PROJECT SHALL CONFORM TO CURRENT ADA STANDARDS AND THE 2019 CBC CHAPTER 11 B.
- FOOD HANDLING FACILITIES SHALL COMPLY WITH ALL LOCAL HEALTH REQUIREMENTS AND CALIFORNIA UNIFORM RETAIL FOOD FACILITIES LAWS.
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OF NONCOMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CCD, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS. DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE DIVISION OF STATE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE ARCHITECT AND OR ENGINEER SHALL MAKE PERIODIC SITE VISITS DURING CONSTRUCTION TO OBSERVE THE PROGRESS OF THE WORK AND VERIFY GENERAL CONFORMANCE TO THE PLANS AND SPECIFICATIONS IS BEING MET. THESE VISIT DO NOT CONSTITUTE A GUARANTEE OF THE CONTRACTOR'S WORK. A CONTRACTOR'S ERROR THAT GOES UNDETECTED DURING A PERIODIC VISIT DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR PROPERLY PERFORMING THE SCOPE OF THE PROJECT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ADJACENT STRUCTURES, PROPERTY, AND SITE FEATURES DURING CONSTRUCTION. ANY DAMAGE TO SUCH ITEMS SHALL BE PROMPTLY RESTORED TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO SUBMIT THEIR BIDS BASED ON ALL DRAWINGS AND SPECIFICATIONS, NOT SOLELY THE SHEETS OR SECTIONS RELEVANT TO THEIR TRADE.
- ALL DETAILS PROVIDED IN THE CONSTRUCTION DOCUMENTS ARE A PART OF THE CONSTRUCTION SCOPE REGARDLESS OF WHETHER THEY ARE SPECIFICALLY REFERENCED.

GENERAL DEMOLITION NOTES

- DEMOLITION PLANS REFERENCE GENERAL ITEMS AND CONDITION VARIATIONS MAY OCCUR WITHIN AREA OF DEMOLITION AND SHALL BE TREATED AS SIMILAR.
- NOT ALL LOCATIONS FOR DEMOLITION MAY BE NOTED. CONTRACTOR SHALL REVIEW THE PROJECT REQUIREMENTS AND BE FAMILIAR WITH THE EXISTING SITE CONDITIONS FOR EVALUATION OF DEMOLITION WORK NECESSARY TO COMPLETE THE NEW WORK.
- KEY NOTES REFERENCE GENERAL ELEMENTS FOR DISPOSAL OR SALVAGE. VARIOUS ASSOCIATED ITEMS MAY OCCUR AND SHALL BE REMOVED ACCORDING TO THE NEEDS AND DESIGN INTENT OF THE NEW CONSTRUCTION.
- THE CONTRACTOR SHALL NOT REMOVE OR ALTER ANY BUILDING ELEMENTS OR SYSTEMS NECESSARY FOR THE BUILDING'S STRUCTURAL INTEGRITY WITHOUT PRIOR AUTHORIZATION FROM THE ARCHITECT AND/OR STRUCTURAL ENGINEER OF RECORD.
- CONTRACTOR SHALL NOT ALTER OR REMOVE ANY SHEAR WALLS OR BEARING WALLS UNLESS IDENTIFIED ON THE DRAWINGS WITH APPROPRIATE DETAILS. THE CONTRACTOR SHALL TAKE PRECAUTIONS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES TO NOT EFFECT THE EXISTING STRUCTURAL SYSTEM OF THE BUILDING. IF DURING THE COURSE OF THE WORK, ELEMENTS THAT ARE IDENTIFIED TO BE DEMOLISHED, BUT APPEAR STRUCTURAL IN NATURE AND NOT IDENTIFIED AS SUCH, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED WITH THE DEMOLITION OF SUCH ELEMENTS WITHOUT THE DIRECTION OF THE ARCHITECT AND/OR STRUCTURAL ENGINEER OF RECORD.
- AFTER THE DEMOLITION AND REMOVAL OF ELEMENTS, REPAIR AND RESTORE EXISTING FINISHES TO BE LEFT EXPOSED TO THEIR ORIGINAL CHARACTER. WHERE EXISTING FINISHES ARE TO BE HIDDEN WITH NEW MATERIALS, THOSE FINISHES SHALL BE RESTORED TO PROVIDE ADEQUATE SUITABILITY, STRENGTH, AND SUBSTRATE FOR NEW CONSTRUCTION AND FINISHES.
- CONTRACTOR SHALL COMPLY WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION:
 - 5-2 PROTECTION
 - 5-3 REMOVAL
 - 5-4 RELOCATION
 - 7-8 PROJECT SITE MAINTENANCE
 - 7-9 PROTECTION AND RESTORATION OF EXIST. IMPROVEMENTS
 - 7-10 PUBLIC CONVENIENCE AND SAFETY
- SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CHAPTER 33 C.B.C. AND CHAPTER 33 C.F.C.
- THE CONTRACTOR SHALL DISPOSE OF DEMOLITION MATERIALS IN A LEGAL AND ACCEPTABLE MANNER.
- CONTRACTOR SHALL MAKE AVAILABLE TO OWNER ANY MATERIALS OR EQUIPMENT LISTED FOR DEMOLITION, DISPOSAL, REMOVAL, ETC. UPON OWNER'S REQUEST. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL SALVAGABLE ITEMS.
- CONTRACTOR SHALL KEEP OPERATING EQUIPMENT OR MATERIALS INDICATED FOR REUSE, RELOCATION, OR OWNER RETENTION IN A SAFE MANNER TO PROTECT THE MATERIAL OR EQUIPMENT FROM DAMAGE.
- THE CONTRACTOR IS RESPONSIBLE TO PERFORM ALL DEMOLITION WORK NECESSARY TO ALLOW EXECUTION OF ALL REQUIREMENTS OF THE NEW CONSTRUCTION UNDER THIS CONTRACT. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- THE RECORD DRAWINGS FOR THE FACILITIES TO BE MODERNIZED MAY BE AVAILABLE FROM THE DISTRICT FOR REFERENCE. CONTRACTOR SHALL REQUEST DRAWINGS OR OTHER OWNER SUPPLIED DOCUMENTS PRIOR TO BEGINNING DEMOLITION OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL REVIEW THE RECORD DOCUMENTS TO DETERMINE ANY CONDITIONS WHERE CONFLICTS, HARDSHIPS, OR SIMILAR ISSUES MAY ARISE. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS WHERE CONFLICTS MAY ARISE PRIOR TO DEMOLITION OR CONSTRUCTION ACTIVITIES.
- AREA OF FLOOR SLAB OR PAVING DEMOLITION IS SHOWN AS AN APPROXIMATION ONLY TO DEFINE GENERAL SCOPE OF WORK. EXISTING CONDITIONS MAY REQUIRE A LARGER / DIFFERENTLY CONFIGURED AREA OF DEMOLITION. REMOVAL SHALL BE IN ACCORDANCE TO THE NEEDS AND DESIGN INTENT OF THE NEW CONSTRUCTION. COORDINATE DEMOLITION REQUIREMENTS WITH CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DESIGN AND DRAWINGS.
- ALL FLOOR SLAB AND/OR PAVING SAWCUTS SHALL BE DONE IN A MANNER THAT CREATES A SHARP, STRAIGHT, AND SQUARE EDGE. SAW CUT EDGES EXPOSED FOR LONG DURATIONS DURING CONSTRUCTION SHALL BE PROTECTED BY THE CONTRACTOR IN ORDER TO LIMIT CHIPPING OF CONCRETE EDGE. IF CHIPPING OR OTHER DAMAGE OCCURS, CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ADDITIONAL FLOOR SLAB AND/OR PAVING TO NEXT AVAILABLE JOINT OR AS DETERMINED BY ARCHITECT AT THE CONTRACTOR'S OWN COST.
- WHERE EQUIPMENT AND/OR FIXTURES ARE INDICATED TO BE REMOVED ALL RELATED EXPOSED PIPING, CONDUITS, AND ASSOCIATED ITEMS SHALL ALSO BE REMOVED AND/OR PROPERLY TERMINATED TO PROVIDE COMPLETE DEMOLITION.
- WHERE EXISTING CONSTRUCTION ELEMENTS (FRAMING, FINISHES, PIPES, CONDUITS, DUCTWORK, EQUIPMENT, ETC.) INTERFERE WITH THE INTENDED NEW CONSTRUCTION OR WOULD BE EXPOSED IN OTHERWISE 'FINISHED' AREAS, THESE ITEMS SHALL ALSO BE REMOVED AND/OR RELOCATED.
- AT DEMOLITION OF DOORS, WINDOWS, FLASHINGS, SOFFITS, ETC. WHERE PLASTER IS DISTURBED AT FINISHES TO REMAIN, REMOVE PLASTER BACK 6" MINIMUM TO EXPOSE LATH TO PERFORM PROPER PLASTER PATCH.
- REFER TO STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL DEMOLITION WORK SPECIFIC TO THOSE BUILDING SYSTEMS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST ANY HAZARDOUS ABATEMENT DOCUMENTS FOR THE SCOPE OF WORK TO FULLY UNDERSTAND THE EXTENT OF REMOVAL AND DISPOSAL REQUIREMENTS FOR THOSE MATERIALS.
- ALL ABATEMENT WORK SHALL BE COMPLETED BY THE CONTRACTOR PRIOR TO DEMOLITION WORK.

GENERAL ACCESSIBILITY NOTES

- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34" TO 44" ABOVE THE FLOOR (PANIC HARDWARE SHALL BE BETWEEN 36" TO 44" ABOVE FIN. FLR.). LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND IN A PATH OF TRAVEL, SHALL BE OPENABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, BY EXIT DEVICE, OR PUSH-PULL ACTIVATING BARS. LOCKED EXIT DOORS SHALL OPERATE BY ABOVE IN DIRECTION OF EGRESS.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5.0 POUNDS FOR EXTERIOR AND INTERIOR DOORS. SUCH PUSH OR PULL EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS.
- THE SWEEP PERIOD FOR A DOOR CLOSERS SHALL BE ADJUSTED SUCH THAT THE DOOR SHALL TAKE AT LEAST THREE SECONDS TO MOVE THREE INCHES FROM THE LATCH FROM AN OPEN POSITION OF 70 DEGREES FROM THE LEADING EDGE.
- THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4 AND 1/2 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL.
- ACCESSIBLE FIXTURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH CALIFORNIA PLUMBING CODE, 2019 EDITION AND CBC CHAPTER 11B, 2019 EDITION.
- EXPOSED LAVATORY P-TRAP ASSEMBLIES AND WATER SUPPLY LINES SHALL BE INSTALLED WITH REMANUFACTURED VINYL COVERED P-TRAP, VALVE, AND SUPPLY INSULATED COVER.
- THE FORCE REQUIRED TO OPERATE LAVATORY OR SINK FAUCETS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING FAUCETS SHALL HAVE A MINIMUM 10 SECOND CYCLE TIME.
- ALL ACCESSIBLE GATES WITHIN THE PATH OF TRAVEL SHALL HAVE NON-GRIP HARDWARE MOUNTED BETWEEN 34" TO 44" ABOVE FINISH PAVING. THERE SHALL BE 24" MINIMUM CLEAR SPACE PROVIDED AT THE STRIKE SIDE OF THE GATE FOR ACCESSIBLE MANEUVERING CLEARANCES.
- ALL DIMENSIONS FOR ACCESSIBLE COMPONENTS, FEATURES, OR CLEAR FLOOR SPACE ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- WHERE FLOOR DRAINS ARE PROVIDED, FINISHED SURFACE SHALL SLOPE TO DRAIN NO MORE THAN 2% IN ANY DIRECTION. FLOOR DRAINS AND FLOOR SINKS SHALL HAVE 1/2" MAXIMUM GRATE OPENINGS IN ALL DIRECTION.
- ACCESSIBLE PATH OF TRAVEL (POT) SHALL BE A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED 1:2 MAX SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. POT SHALL BE AT LEAST 48" IN WIDTH WITH A STABLE, FIRM, AND SLIP RESISTANT SURFACE. CROSS SLOPE SHALL NOT EXCEED 2% MAX AND THE SLOPE IN THE DIRECTION OF TRAVEL SHALL NOT EXCEED 5%. POT SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM ABOVE FINISHED SURFACE AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM THE WALL AND 27" ABOVE FINISHED SURFACE, BUT LESS THAN 80" ABOVE FINISHED SURFACE. REFERENCE CBC 11B-202.4.
- OPENINGS IN GRATINGS OR STRAINERS LOCATED IN THE PEDESTRIAN CIRCULATION PATHS OR PATH OF TRAVEL SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/2" DIAMETER. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL IN COMPLIANCE WITH CBC 11B-302.
- GATES IN THE PATH OF TRAVEL SHALL COMPLY WITH EXIT DOOR REQUIREMENTS.

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT

THE PATH OF TRAVEL (POT) IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS, AND STRUCTURAL REPAIRS AS PART OF THE DESIGN OF THIS PROJECT. THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT HAVE BEEN IDENTIFIED AND, THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT THROUGH DETAILS, DRAWINGS, AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS.

ANY NONCOMPLIANT ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE INDICATED IN THESE CONSTRUCTION DOCUMENTS. DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS COMPLIANT ARE FOUND TO BE NON-COMPLYING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE BY MEANS OF A CONSTRUCTION CHANGE CHANGE DOCUMENT (CCD).

GENERAL FIRE NOTES

- FIRE SAFETY AND EVACUATION PLANS SHALL BE AVAILABLE IN THE WORKPLACE FOR REFERENCE AND REVIEW BY EMPLOYEES, AND COPIES SHALL BE FURNISHED TO THE FIRE CODE OFFICIAL FOR REVIEW UPON REQUEST.
- THROUGH PENETRATION FIRE STOPPING FOR ALL FIRE WALLS, FLOOR/CEILINGS, AND ASSEMBLIES SHALL HAVE AN "F" OR "T" RATING PER THE CBC AND STANDARDS. INSTALLATION OF FIRE STOPPING SHALL COMPLY WITH APPROVED METHODS.
- ALL CONTRACTORS PERFORMING WORK ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF 2019 CFC 901.7, SPECIFICALLY 901.7.4, CH. 11, CH. 33, AND 2013 NFPA 241 FIRE PREVENTION PROGRAM THROUGHOUT ALL PHASES OF CONSTRUCTION.

APPLICABLE CODES/STANDARDS

- 2019 BUILDING STANDARDS ADMINISTRATIVE CODE PART 1, TITLE 24, C.C.R.
- 2019 CALIFORNIA BUILDING CODE (C.B.C.) PART 2, TITLE 24, C.C.R. (2018 I.B.C., VOL. I-2 AND 2019 CA AMENDMENTS)
- 2019 CALIFORNIA ELECTRIC CODE (C.E.C.), PART 3, TITLE 24, C.C.R. (2017 N.E.C. AND 2019 CA AMENDMENTS)
- 2019 CALIFORNIA MECHANICAL CODE (C.M.C.) PART 4, TITLE 24, C.C.R. (2018 U.M.C. AND 2019 CA AMENDMENTS)
- 2019 CALIFORNIA PLUMBING CODE (C.P.C.), PART 5, TITLE 24, C.C.R. (2018 U.P.C. AND 2019 CA AMENDMENTS)
- 2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24, C.C.R.
- 2013 ASME A 17.1 SAFETY CODE FOR ELEVATORS & ESCALATORS
- 2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24, C.C.R. (2018 I.F.C. AND 2019 CALIF AMENDMENTS)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART II, TITLE 24, C.C.R.
- 2019 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24, C.C.R. TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
- NFPA 13 - AUTOMATIC SPRINKLER SYSTEMS 2016 ED.
- NFPA 14 - STANDPIPE SYSTEMS 2016 ED.
- NFPA 17 - DRY CHEMICAL EXTINGUISHING SYSTEMS 2017 ED.
- NFPA 17A - WET CHEMICAL SYSTEMS 2017 ED.
- NFPA 20 - STATIONARY PUMPS 2016 ED.
- NFPA 24 - PRIVATE FIRE MAINS 2016 ED.
- NFPA 25 - STANDARD FOR INSPECTION, TESTING, & MAINTENANCE OF WATER-BASED FIRE PROTECTION SYSTEMS 2013 ED.
- NFPA 72 - NATIONAL FIRE ALARM CODE (CA AMEND.) 2016 ED. (NOTE SEE UL STANDARD 1971 FOR "VISUAL DEVICES")
- NFPA 80 - FIRE DOORS & OTHER OPENING PROTECTIVES 2016 ED.
- NFPA 92 - STANDARD FOR SMOKE CONTROL SYSTEMS 2018 ED.
- NFPA 253 - CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS 2019 ED.
- NFPA 2001 - CLEAN AGENT FIRE EXTINGUISHING SYSTEMS 2018 ED.
- UL 464 - AUDIBLE SIGNAL DEVICES 2003 ED.
- UL 521 - HEAT DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS 1999 ED. REFERENCE CODE SECTION FOR NFPA STANDARDS 2019 C.B.C. (SFM) CHAPTER 35. SEE CHAPTER 35 FOR STATE OF CA AMENDMENTS TO NFPA STANDARDS.

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REPLACEMENT**
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 1 PIRATES COVE WAY
 OCEANSIDE, CA 92054
 OCEANSIDE UNIFIED SCHOOL DISTRICT
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REVISIONS		
MARK	DATE	DESCRIPTION

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22-002 OUSD OHS Gym Clerestory Window Replacement.pln

PLOT DATE:
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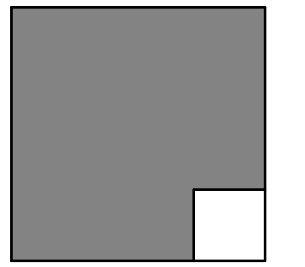
SHEET TITLE

APPLICABLE CODES AND STANDARDS

T-002

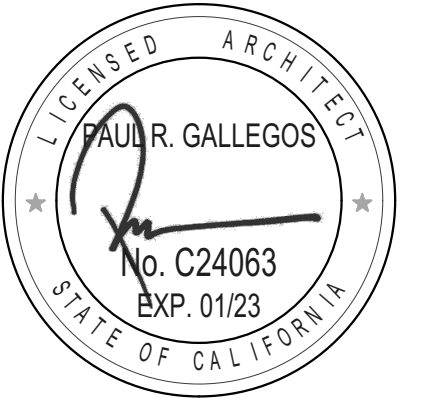
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\$	AND	GA.	GAUGE	STD.	STANDARD
<	ANGLE	GALV.	GALVANIZED	STL.	STEEL
@	AT	GB.	GRAB BAR	ST.	STEEL
A	AMP	GC.	GENERAL CONTRACTOR	STO.	STORAGE
AB.	ANCHOR BOLT	GL.	GLASS	STRUC.	STRUCTURAL
ABV.	ABOVE	GI.	GALVANIZED IRON	STR.	STRUCTURAL
AC.	ASPAHLT	GND.	GROUND	SUSP.	SUSPENDED
A/C.	AIR CONDITIONING	GRD.	GYPSPUM DRYWALL	SYM.	SYMMETRICAL
ACOUS.	ACOUSTICAL	GRD.	GRADE	T	TREAD
AD.	AREA DRAIN	GV.	GATE VALVE	T	T
ADJ.	ADJUSTABLE	GYP.	GYPSPUM	TB.	TOWEL BAR
AGGR.	AGGREGATE	HB.	HOSE BIB	T&B	TOP AND BOTTOM
AFF.	ABOVE FINISH FLOOR	HC.	HOLLOW CORE	TOC	TOP OF CURB
AL.	ALUMINUM	HD.	HEAD	TEL.	TELEPHONE
AP.	ACCESS PANEL	HDR.	HEADER	TEM.	TEMPERED
APPROX.	APPROXIMATE	HDW.	HARDWARE	TER.	TERAZZO
ARCH.	ARCHITECTURAL	HMW.	HOLLOW METAL	TF.	TOP OF FOOTING
ARCH.	ARCHITECTURAL	HM.	HOLLOW METAL	T&G	TONGUE AND GROOVE
ASC.	ABOVE SUSPENDED CEILING	HDWD.	HARDWARE	THK.	THICK
AS.	AUTOMATIC SPRINKLER	HNDRL.	HANDRAIL	TP.	TOP OF PARAPET
AUTO.	AUTOMATIC	HORIZ.	HORIZONTAL	TPD.	TOILET PAPER DISPENSER
BD.	BOARD	HVAC.	HEATING, VENTILATING, AIR CONDITIONING	TS	TOP OF STRUCTURE
BFG.	BELOW FINISH GRADE	ID.	INSIDE DIAMETER	TTB.	TELEPHONE TERMINAL BACKBOARD
BITUM.	BITUMINOUS	IE.	INVERT ELEVATION	TV.	TELEVISION
BLDG.	BUILDING	IF.	INSIDE FACE	TOW.	TOP OF WALL
BLK.	BLOCK	IN.	INCH	TYP.	TYPICAL
BM.	BEAM	INC.	INCLUDE	UG.	UNDERGROUND
BRG.	BEARING	INFO.	INFORMATION	UNF.	UNFINISHED
BRK.	BRICK	INSUL.	INSULATION	UNO	UNLESS NOTED OTHERWISE
BOT.	BOTTOM	INT.	INTERIOR	UON	UNLESS OTHERWISE NOTED
BTU.	BRITISH THERMAL UNIT	INV.	INVERT	UR	URINAL
C.	CONDUIT	JAN.	JANITOR	UTIL.	UTILITY
CAB.	CABINET	JST.	JOIST	VAR.	VARIES
CB.	CATCH BASIN	JT.	JOINT	VB.	VAPOR BARRIER
CD.	CEILING DIFFUSER	KIT.	KITCHEN	VCT.	VINYL COMPOSITION TILE
CEM.	CEMENT	KP.	KICK PLATE	VERT.	VERTICAL
CER.	CERAMIC	KVA	KILOVOLT AMPERES	VEST.	VESTIBULE
CF.	CUBIC FEET	KW	KILOWATT	VIF.	VERIFY IN FIELD
CFM.	CUBIC FEET PER MINUTE	MAS.	MASONRY	VTR.	VENT THROUGH ROOF
CG.	CORNER GUARD	MATL.	MATERIAL	W	WEST
CI.	CAST IRON	MAX.	MAXIMUM	W/	WITH
CIP.	CAST IN PLACE	MC.	MEDICINE CABINET	WC.	WATER CLOSET
CKT. BKR.	CIRCUIT BREAKER	MECH.	MECHANICAL	WCO.	WALL CLEAN OUT
CL.	CENTERLINE	MFR.	MANUFACTURER	WD.	WOOD
CLG.	CEILING	MH.	MANHOLE	WDW.	WINDOW
CLR.	CLEAR	MIN.	MINIMUM	WH.	WATER HEATER
CMU.	CONCRETE MASONRY UNIT	MIR.	MIRROR	W/O	WITHOUT
CNTR.	COUNTER	MISC.	MISCELLANEOUS	WP.	WATERPROOF
CO.	CLEANOUT	MO.	MASONRY OPENING	WSCT.	WAINSCOT
COTG.	CLEANOUT TO GRADE	MTD.	MOUNTED	WT.	WEIGHT
COL.	COLUMN	MTL.	METAL	WWF.	WELDED WIRE FABRIC
CONC.	CONCRETE	MUL.	MULLION	WWW.	WELDED WIRE MESH
CONN.	CONNECTION	N.	NORTH		
CPT.	CARPET	NIC.	NOT IN CONTRACT		
CTR.	CENTER	NO.	NUMBER		
CTSK.	COUNTERSINK	NOM.	NOMINAL		
CW.	COLD WATER	NTS.	NOT TO SCALE		
D.	DRAIN	OA.	OUTSIDE AIR		
DBL.	DOUBLE	O/A	OVERALL		
DEPT.	DEPARTMENT	OBS.	OBSOLETE		
DET.	DETAIL	OC.	ON CENTER		
DF.	DINKING FOUNTAIN	OD.	OUTSIDE DIAMETER		
DIA.	DIAMETER	OFF.	OFFICE		
DIM.	DIMENSION	OH.	OPPOSITE HAND		
DISP.	DISPENSER	OPNG.	OPENING		
DMT.	DEMOUNTABLE	OPP.	OPPOSED		
DN.	DOWN	OVHD.	OVERHEAD		
DO.	DOOR OPENING	PAV.	PAVING		
DR.	DRAIN	PC.	PRECAST CONCRETE		
DS.	DOWNSPOUT	PCC.	PORTLAND CEMENT CONCRETE		
DWG.	DRAWING	PHP.	PARTIAL HEIGHT PARTITION		
DWR.	DRAWER	PLT.	PLATE		
EXIST.	EXISTING	PL	PROPERTY LINE		
E.	EAST	PLAM	PLASTIC LAMINATE		
E.A.	EACH	PLAS.	PLASTER		
EF.	EXHAUST FAN	PLYWD.	PLYWOOD		
EJ.	EXPANSION JOINT	PLBG.	PLUMBING		
ELEC.	ELECTRICAL	POC.	POINT OF CONNECTION		
ELEV.	ELEVATOR	PP.	POWER POLE		
EMER.	EMERGENCY	PRCST	PRE-CAST		
ENCL.	ENCLOSURE	PSI.	POUNDS PER SQUARE INCH		
EP.	ELECTRICAL PANELBOARD	PT.	POINT		
EQ.	EQUAL	PTD.	PAPER TOWEL DISPENSER		
EQUIP.	EQUIPMENT	PTN.	PARTITION		
EW.	EACH WAY	PVMT.	PAVEMENT		
EW.	ELECTRIC WATER COOLER	QT.	QUARRY TILE		
EWC.	ELECTRIC WATER COOLER	R.	RISER		
EH.	EXHAUST	R.	RISER		
EXIST.	EXISTING	RAD.	RADIUS		
EXPO.	EXPOSED	RD.	ROOF DRAIN		
EXP.	EXPANSION	REF.	REFERENCE		
EXT.	EXTERIOR	REFR.	REFRIGERATOR		
FAS.	FASTNER	REINF.	REINFORCED		
FA.	FIRE ALARM	REQD.	REQUIRED		
FB.	FACE BRICK	REV.	REVISION		
FCO.	FLOOR CLEANOUT	RESIL.	RESILIENT		
FD.	FLOOR DRAIN	RM.	ROOM		
FDN.	FOUNDATION	RO.	ROUGH OPENING		
FE.	FIRE EXTINGUISHER	RDWD.	REDWOOD		
FEC.	FIRE EXTINGUISHER CABINET	S.	SOUTH		
FF.	FINISH FLOOR	SC.	SOLID CORE		
FG.	FINISH GRADE	SCHED.	SCHEDULE		
FH.	FIRE HYDRANT	SD.	SOAP DISPENSER		
FHC.	FIRE HOUSE CABINET	SECT.	SECTION		
FIN.	FINISH	SF.	SQUARE FOOT		
FL.	FLOW LINE	SH.	SHELF		
FLR.	FLOOR	SHR.	SHOWER		
FLOUR.	FLOURESCENT	SHT.	SHEET		
FOC.	FACE OF CONCRETE	SIM.	SIMILAR		
FOF.	FACE OF FINISH	SMH.	SEWER MANHOLE		
FOM.	FACE OF MASONRY	SND.	SANITARY NAPKIN DISPENSER		
FOS.	FACE OF STUD	SOV.	SHUT OFF VALVE		
FPRF.	FIREPROOFING	SPEC.	SPECIFICATIONS		
FS.	FINISH SURFACE	SPKR.	SPRINKLER		
FT.	FOOT	SQ.	SQUARE		
FTG.	FOOTING	SS.	STAINLESS STEEL		
FUT.	FUTURE	STA.	STATION		

REVISIONS		
MARK	DATE	DESCRIPTION

PROJECT NO: 22-002
MODEL FILE:
22-002 OUSD OHS Gym Clerestory Window Replacement.pln

PLOT DATE:
3/7/2022

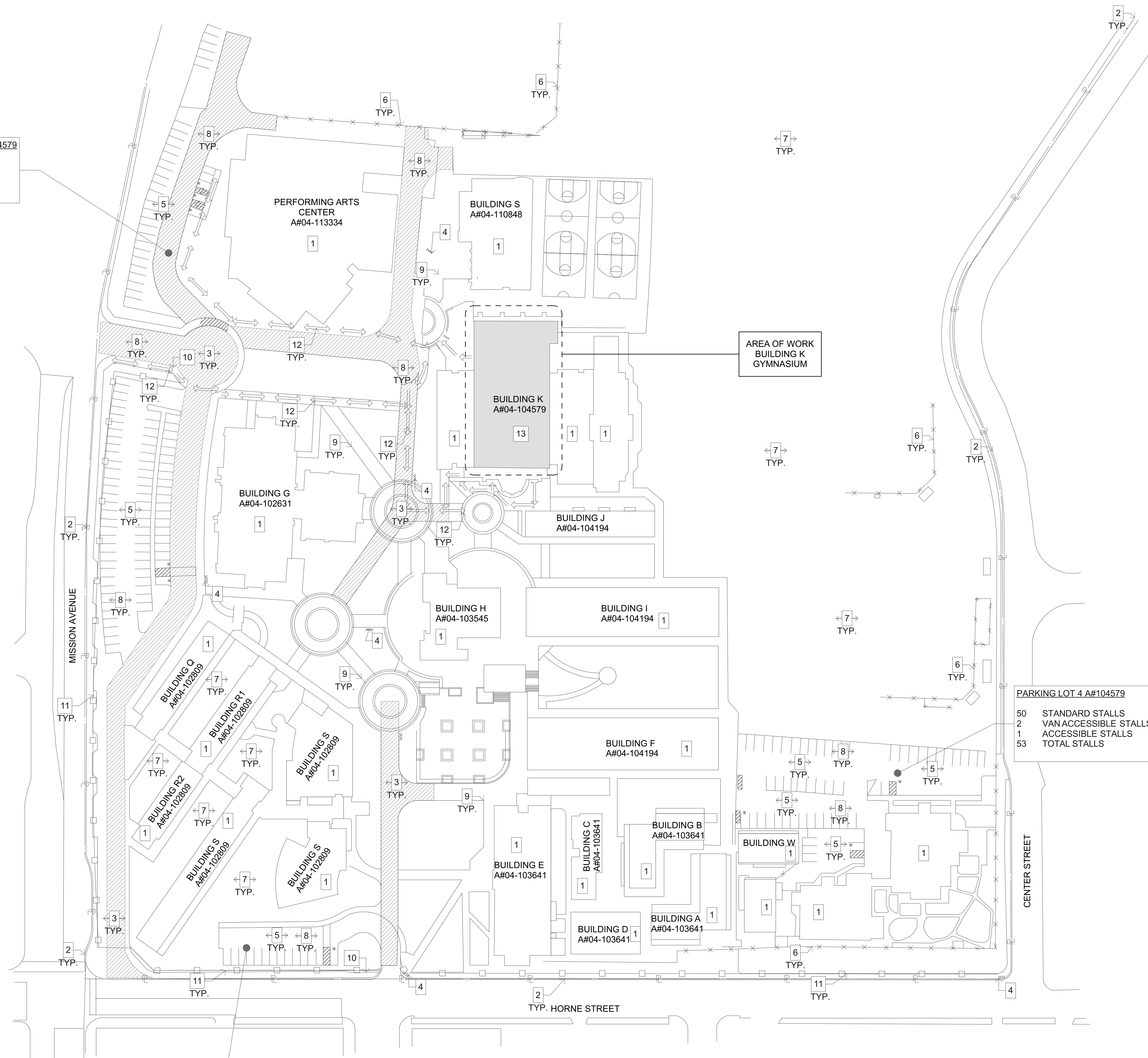
SHEET TITLE

ABBREVIATIONS

T-003

PARKING LOT 1 A#04-113334, A#04-104579

108	STANDARD STALL
2	VAN ACCESSIBLE STALL
3	STANDARD ACCESSIBLE STALL
111	TOTAL STALLS



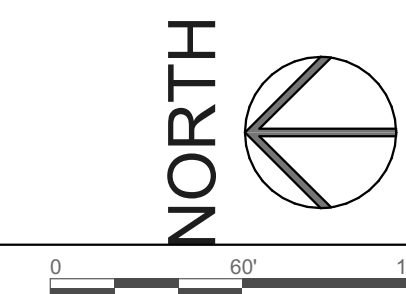
PARKING LOT 3 A#04-104579

13	STANDARD STALL
1	VAN ACCESSIBLE STALL
14	TOTAL STALLS

PARKING LOT 4 A#104579

50	STANDARD STALLS
2	VAN ACCESSIBLE STALLS
1	ACCESSIBLE STALLS
53	TOTAL STALLS

1 OVERALL SITE PLAN
SCALE: 1/8" = 1'-0"



NOTES

- EXISTING BUILDING TO REMAIN - N.I.C.
- EXISTING PROPERTY LINE.
- EXISTING FIRE LANE.
- EXISTING FIRE HYDRANT.
- EXISTING PARKING TO REMAIN - N.I.C.
- EXISTING CHAIN LINK FENCE TO REMAIN.
- EXISTING LANDSCAPE AREA TO REMAIN - N.I.C.
- EXISTING ASPHALT PAVING TO REMAIN - N.I.C.
- EXISTING CONCRETE PAVING TO REMAIN-N.I.C.
- EXISTING TOW AWAY SIGNAGE TO REMAIN
- EXISTING STEEL FENCING TO REMAIN
- EXISTING PATH OF TRAVEL TO REMAIN PER DSA APPROVED A# 04-104579, AND A#04-113334.
- SHADING INDICATES AREA OF NEW WORK.

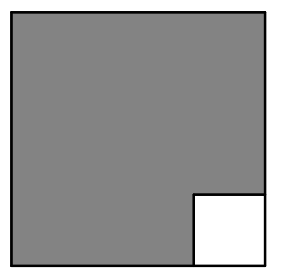
BUILDING K INFORMATION

CONSTRUCTION TYPE: III
OCCUPANCY TYPE: A, 2.1
SPRINKLERS: NONE

GENERAL NOTES

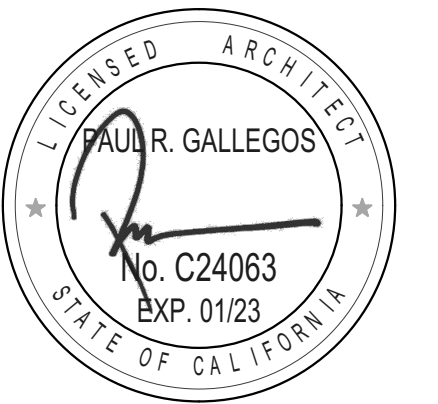
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, SIGNAL, PLUMBING, ETC. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITIES DURING CONSTRUCTION AND/OR TRENCHING.

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GYM CLERESTORY WINDOW REPLACEMENT

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1 PIRATES COVE WAY
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OCEANSIDE UNIFIED SCHOOL DISTRICT
2111 MISSION AVE OCEANSIDE CA 92058

REVISIONS

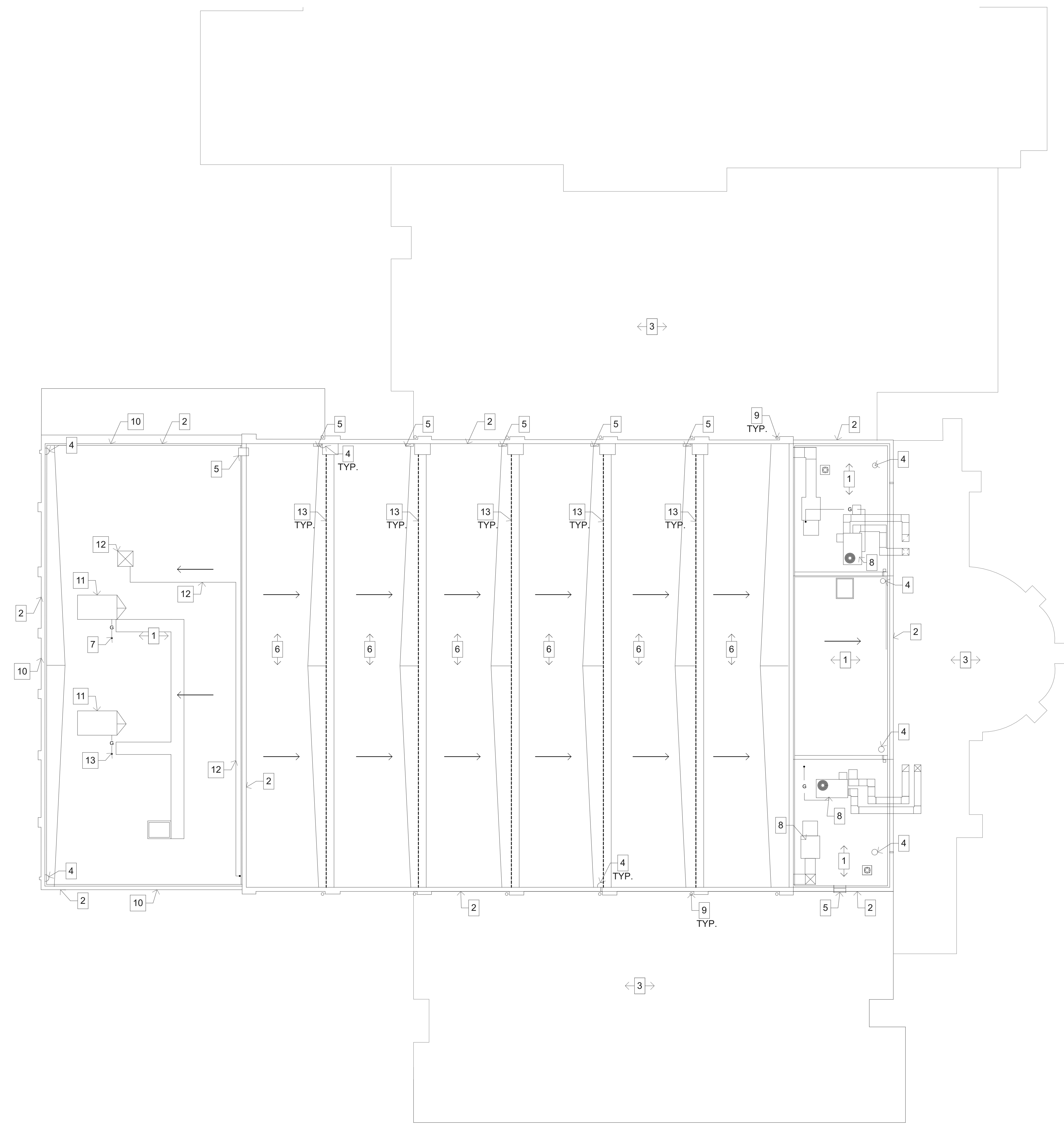
MARK	DATE	DESCRIPTION

PROJECT NO: 22-002
MODEL FILE:
22-002 OUSD OHS Gym Clerestory Window Replacement.pln

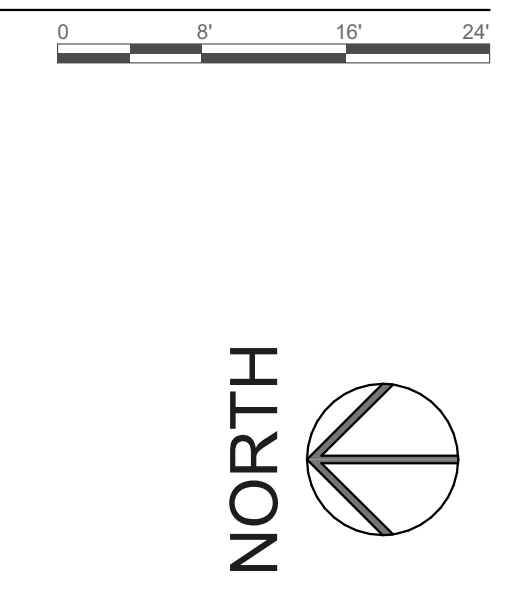
PLOT DATE:
3/7/2022

SHEET TITLE

OVERALL SITE PLAN



1 ROOF DEMOLITION PLAN
SCALE: 3/32" = 1'-0"



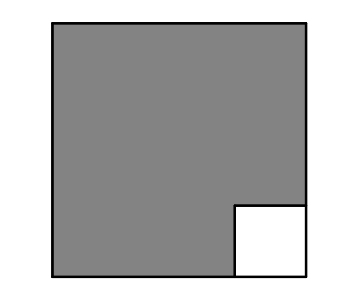
NOTES

1. EXISTING BUILT-UP ROOFING TO REMAIN PER DSA APPROVED A#04-119438.
2. EXISTING PARAPET.
3. EXISTING ROOFING TO REMAIN.
4. EXISTING ROOF DRAIN.
5. EXISTING WALL MOUNTED LADDER TO REMAIN.
6. EXISTING CLASS A THERMOPLASTIC SINGLE-PLY ROOFING OVER EXISTING ROOF DECK TO REMAIN PER DSA APPROVED A#04-119438.
7. EXISTING GAS LINE TO REMAIN.
8. EXISTING ROOFTOP MOUNTED MECHANICAL EQUIPMENT TO REMAIN.
9. EXISTING PIPE DOWNSPOUT TO REMAIN.
10. EXISTING PARAPET COPING TO REMAIN.
11. EXISTING ROOFTOP MECHANICAL EQUIPMENT TO REMAIN.
12. EXISTING ANTENNA AND ROOFTOP CONDUITS TO REMAIN.
13. DEMO AND REMOVE EXISTING CLERESTORY WINDOWS FOR REPLACEMENT WITH NEW ALUMINUM WINDOW SYSTEM. REFER TO SHEET A-802.

GENERAL NOTES

1. FOR DEMOLITION NOTES, REFER TO SHEET T-002.

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REVISIONS		
MARK	DATE	DESCRIPTION

PROJECT NO: 22-002
MODEL FILE:
22-002 OUSD OHS Gym Clerestory Window Replacement.pln

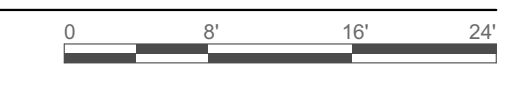
PLOT DATE:
3/7/2022

SHEET TITLE
ROOF DEMOLITION PLAN

A-801



1 NEW WORK ROOF PLAN
SCALE: 3/32" = 1'-0"



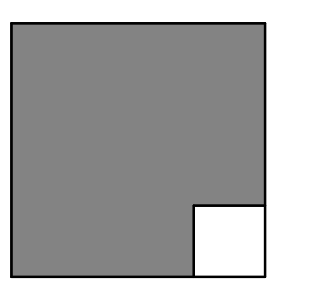
NOTES

1. EXISTING CLASS A THERMOPLASTIC SINGLE-PLY ROOFING OVER EXISTING ROOF DECK PER DSA APPROVED A# 04-119438 TO REMAIN.
2. EXISTING PARAPET TO REMAIN.
3. EXISTING ROOFING TO REMAIN.
4. EXISTING ROOF DRAIN TO REMAIN.
5. EXISTING WALL MOUNTED LADDER.
6. EXISTING ROOFTOP MOUNTED MECHANICAL EQUIPMENT TO REMAIN.
7. EXISTING 42" HIGH STEEL PIPE ROOF GUARD TO REMAIN PER DSA APPROVED A#04-119438.
8. EXISTING ROOFTOP MOUNTED MECHANICAL EQUIPMENT AND CURBS TO REMAIN PER DSA APPROVED A# 04-119438.
9. EXISTING ROOF HATCH AT EXISTING OPENING TO REMAIN PER DSA APPROVED A#04-119438.
10. EXISTING SHEET METAL DOWNSPOUT TO REMAIN PER DSA APPROVED A#04-119438.
11. EXISTING PIPE DOWNSPOUT TO REMAIN.
12. EXISTING ROOFTOP MOUNTED MECHANICAL DUCT AND SUPPORT TO REMAIN PER DSA APPROVED A#04-119438.
13. EXISTING ROOFTOP TRAFFIC WALKWAY PROTECTION MEMBRANE TO REMAIN.
14. EXISTING ANTENNA AND ROOFTOP MOUNTED CONDUIT TO REMAIN.
15. ROOF CRICKET TO REMAIN.
16. EXISTING METAL PARAPET COPING TO REMAIN.
17. EXISTING GAS LINE TO REMAIN- N.I.C.
18. NEW ALUMINUM FRAME FIXED CLERESTORY WINDOWS PER DETAIL SHEET A-803.

GENERAL NOTES

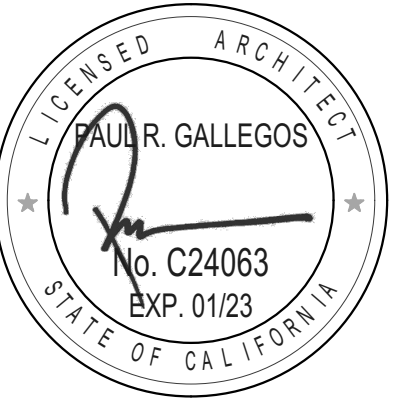
1. FOR GENERAL CONSTRUCTION NOTES, REFER TO SHEET T-002.

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REVISIONS		
MARK	DATE	DESCRIPTION

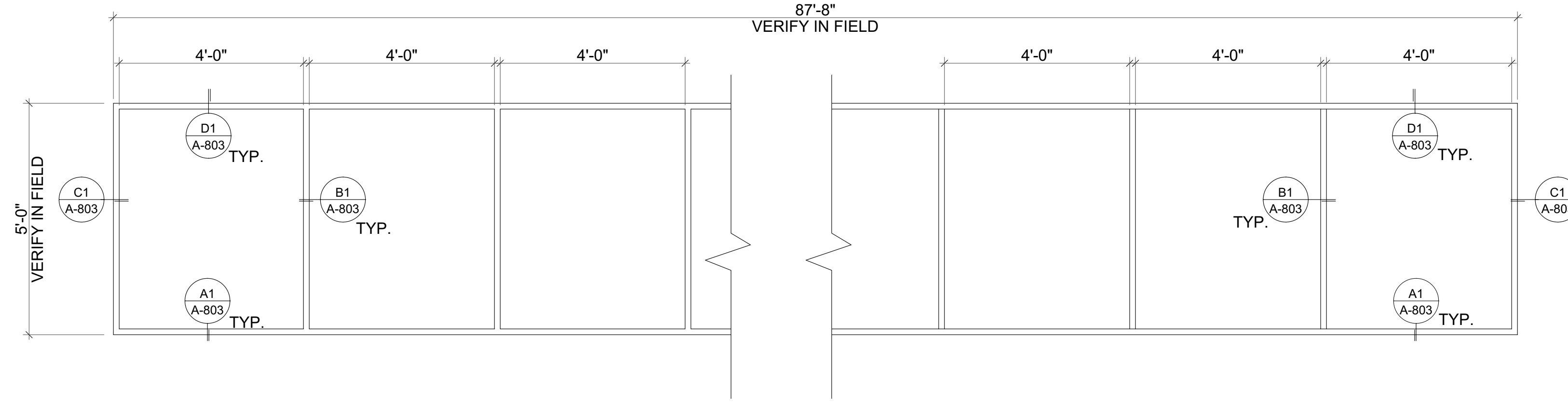
PROJECT NO: 22-002
MODEL FILE:
22-002 OUSD OHS Gym Clerestory Window Replacement.pln

PLOT DATE:
3/7/2022

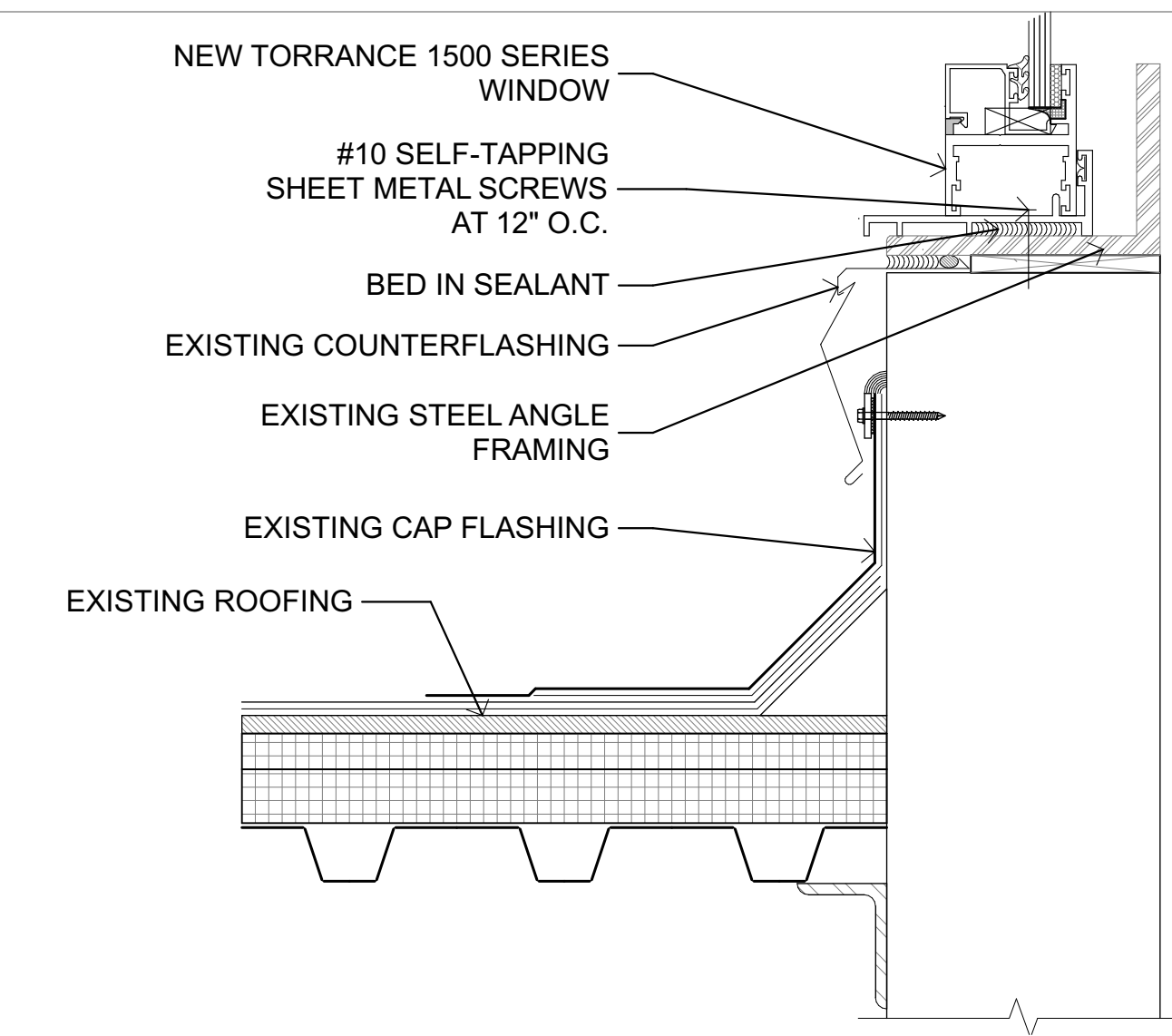
SHEET TITLE

NEW WORK ROOF PLAN

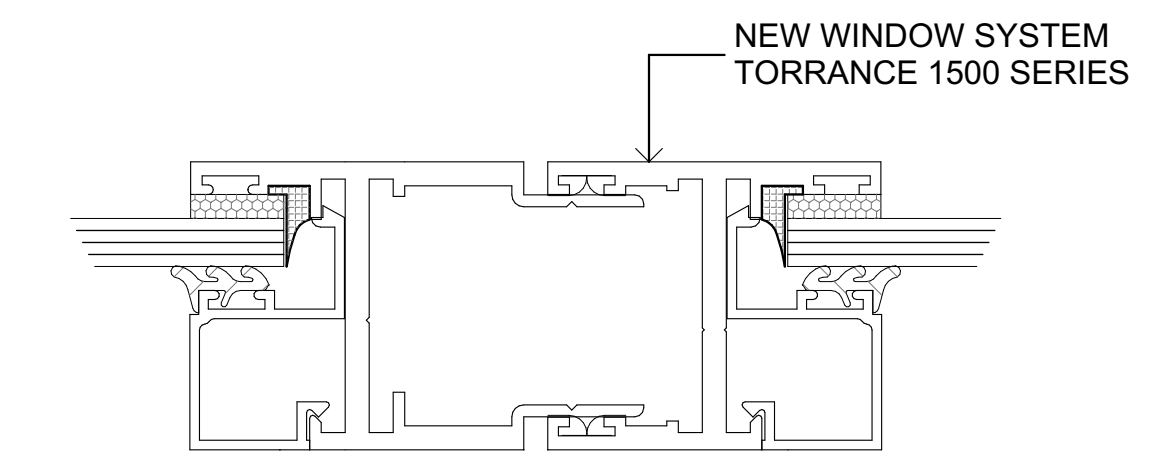
A-802



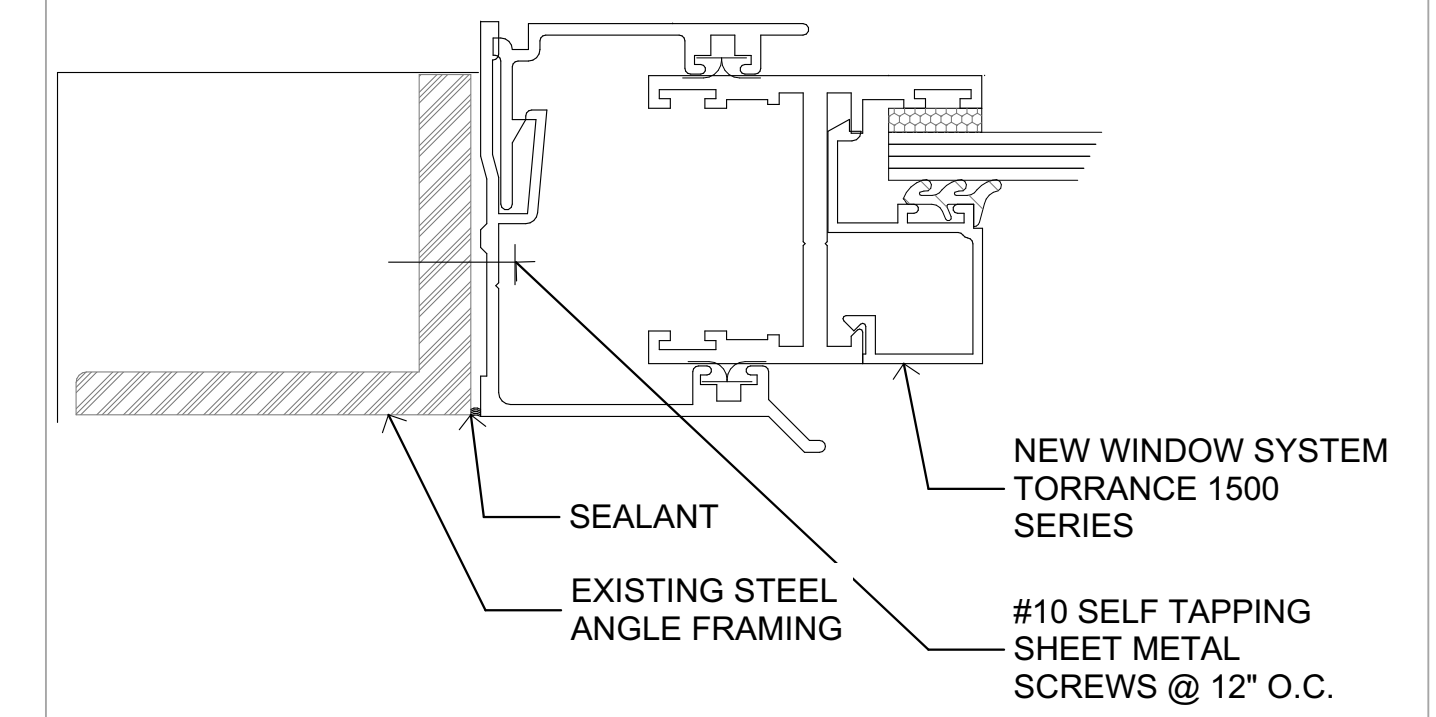
A4 WINDOW ELEVATION
SCALE: 1/2" = 1'-0"



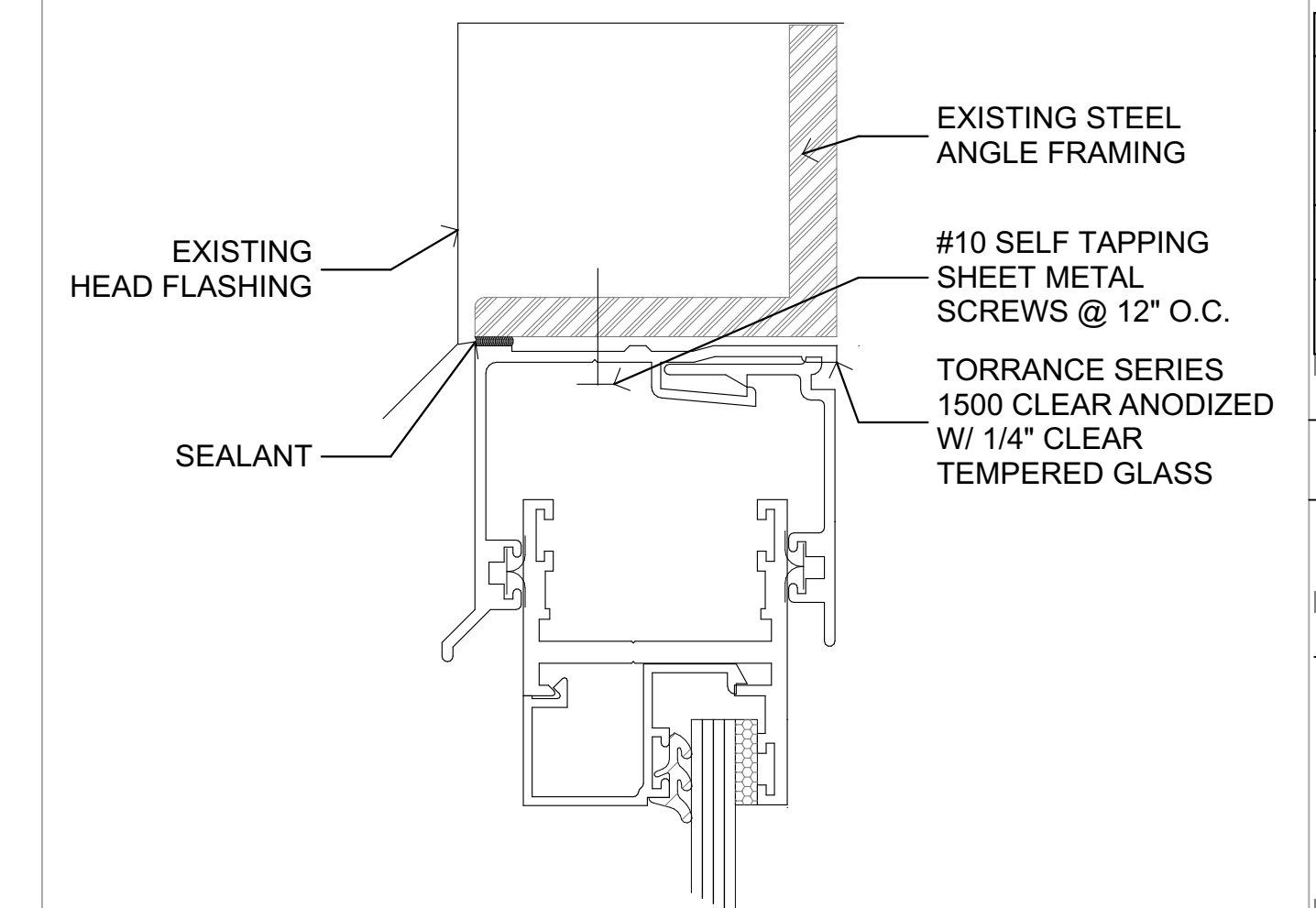
A1 WINDOW SILL
SCALE: 6" = 1'-0"



B1 WINDOW MULLION
SCALE: 1" = 1'-0"

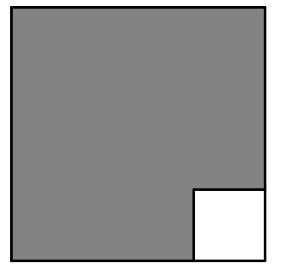


C1 WINDOW JAMB
SCALE: 1" = 1'-0"



D1 WINDOW HEAD
SCALE: 1" = 1'-0"

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PROJECT NO: 22-002
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22-002 OUSD OHS Gym Clerestory Window Replacement.pln

PLOT DATE:
3/7/2022

SHEET TITLE

ROOF DETAIL

A-803