

## ADDENDUM #01

### ADA Compliance Upgrades Foussat and Libby

#### BID NO. 2025-21-070B

The following changes, additions, deletions, clarifications, or corrections shall become part of the Request for Proposals for the above listed project. This Addendum #01 forms a part of the RFQ document and modifies the original documents. **Addendum #01 MUST Be acknowledged in the cover letter.** Failure to do so may subject response to disqualification.

|                                                                          |                              |
|--------------------------------------------------------------------------|------------------------------|
| Oceanside Unified School District                                        | Program Management: CCM/MAAS |
| <b>Bid No. 2025-21-070B</b><br>ADA Compliance Upgrades – Foussat & Libby | Program Manager: Jim O'Reily |

| Informational Updates                   |
|-----------------------------------------|
| 1. RFI Responses                        |
| 2. Jobwalk Sign in Sheet                |
| 3. Updates to General Conditions        |
| 4. Update to Sample Contract Conditions |

| Question                                                                     | Response                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| RFI #1:<br>DWG Review<br>- ADA Scope                                         | Please see attachment A markups for clarification.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| RFI #2: Pre-bid Scope Clarifications                                         | Civil Engineer Latitude 33 clarifications on attachment B.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| Jobwalk Sign in Sheet                                                        | Attachment C.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| General Conditions<br>9.5.2.3.1.<br>Mark-up on Costs of Changes to the Work. | In determining the cost to the District and the extent of increase to the Contract Price resulting from a Change adding to the Work, the allowance for mark-ups on the costs of the Change for all overhead (including home office and field overhead), general conditions costs and profit associated with the Change shall not exceed fifteen percent (15%), regardless of the number of Subcontractors, of any tier, performing any portion of any Change to the Work. If a Change to the Work reduces the Contract Price, no profit, general conditions or overhead costs shall be paid by the District to the Contractor for the reduced or deleted Work. In such event, the adjustment to the Contract Price shall be the actual cost reduction realized by the reduced or deleted Work multiplied by the percentage set forth in the Special Conditions for mark-ups on the cost of a Change adding to the scope of the Work. Upon the approval of the District Representative, the usage of any allowance specified in this contract shall include a mark-up of no more than fifteen percent (15%). In the event that any |

**ADDENDUM #01****ADA Compliance Upgrades Foussat and Libby****BID NO. 2025-21-070B**

|                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|----------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                          | portion of the allowance is not utilized, the unspent amount shall be returned to the School District.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Sample Contract Conditions<br>8. <u>Mark-Up</u><br><u>On Direct</u><br><u>Costs of</u><br><u>Changes</u> | In the event of Changes to the Work, pursuant to Article 9 of the General Conditions, the markup for all overhead, including but not limited to home-office overhead, safety, mailing or clean-up, field office overhead, all other general conditions costs, bond premium, and profit ("Change Order Mark-Up") for Changes completed by the Contractor shall be Fifteen <b>percent (15%)</b> of the direct actual costs for performance of the Change as determined in accordance with the provisions of Article 9 of the Construction General Conditions. For the portion of a Change completed by a Subcontractor, the Subcontractor Change Order Mark-Up shall be ten <b>percent (10%)</b> of the Subcontractor's direct actual costs and the Contractor may mark-up of five <b>percent (5%)</b> to the Subcontractor's direct actual costs for the Contractor's management, supervision and coordination of the Subcontractor's completion of such Change. |
|                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |

END OF ADDENDUM #01





Oceanside USD  
2111 Mission Ave  
Oceanside, California 92054  
P: (760) 966-4421

Attachment A

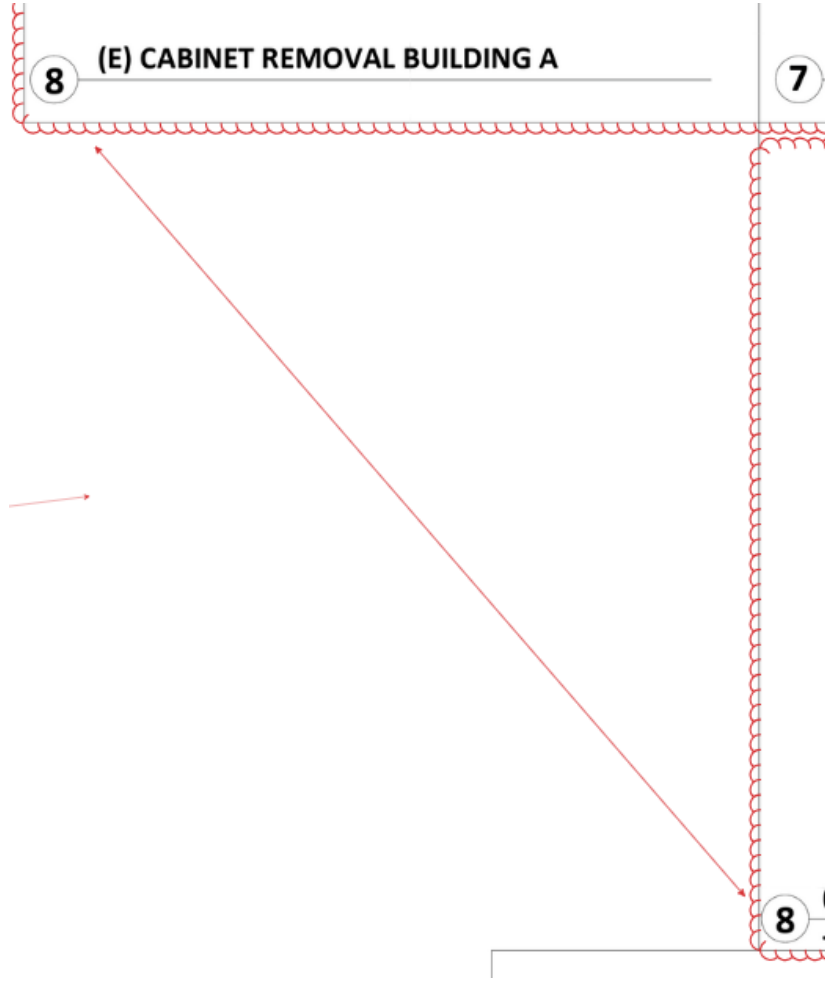
Project: 820-762 Foussat - Relocatables  
3800 Pala Rd  
Oceanside, California 92058

RFI #1: DWG Review - ADA Scope

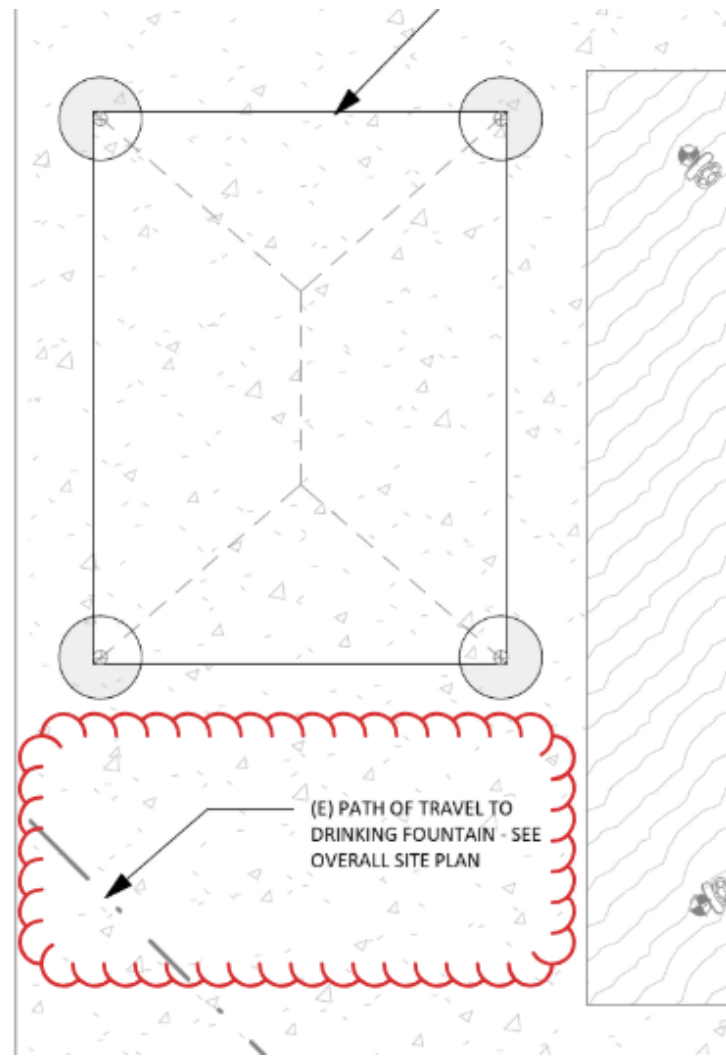
|                 |                                                                                                                                                                                                                                                                                                                     |                 |                                    |
|-----------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|------------------------------------|
| Status          | Closed on 04/16/25                                                                                                                                                                                                                                                                                                  |                 |                                    |
| To              | Amanda Weinstein (obrARCHITECTURE)<br>(Response Required)                                                                                                                                                                                                                                                           | From            | James McGrane (MAAS)<br>California |
| Date Initiated  | Apr 9, 2025                                                                                                                                                                                                                                                                                                         | Due Date        | Apr 16, 2025                       |
| Location        |                                                                                                                                                                                                                                                                                                                     | Project Stage   | Bid                                |
| Cost Impact     |                                                                                                                                                                                                                                                                                                                     | Schedule Impact |                                    |
| Spec Section    |                                                                                                                                                                                                                                                                                                                     |                 |                                    |
| Drawing Number  | T1.3R, A-1.1R, A-1.3R                                                                                                                                                                                                                                                                                               | Reference       |                                    |
| Linked Drawings | <a href="#">C1.0</a> , <a href="#">C1.7</a> , <a href="#">A-1.3R</a> , <a href="#">C1.1</a> , <a href="#">A-1.1R</a> , <a href="#">C1.6</a> , <a href="#">A-1.0R</a> , <a href="#">A-1.4R</a> , <a href="#">C1.2</a> , <a href="#">A-2.0R</a> , <a href="#">C1.8</a> , <a href="#">T1.3R</a> , <a href="#">C1.5</a> |                 |                                    |
| Received From   | James McGrane (MAAS)                                                                                                                                                                                                                                                                                                |                 |                                    |
| Copies To       | Nasser Behroozian (TYR, Inc), Corrisa Bolls (MAAS)<br>, Anney Rosenthal-Hall (obrARCHITECTURE),<br>Amanda Weinstein (obrARCHITECTURE)                                                                                                                                                                               |                 |                                    |
| Revision        |                                                                                                                                                                                                                                                                                                                     |                 |                                    |

Activity

|                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|-------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Question          | <p><b>Question from James McGrane MAAS on Monday, Apr 7, 2025 at 11:15 AM PDT</b></p> <p>Please provide clarity on the following inconsistencies found in the DSA approved set:</p> <ul style="list-style-type: none"><li>• T1.3R - Two detail #8's</li><li>• A-1.1R - Kindergarten Drinking Fountain does not appear on Enlarged Site Plan<ul style="list-style-type: none"><li>◦ Callout on POT references OVERALL SITE PLAN for Drinking Fountain rather than A-1.3R for Kindergarten Drinking Fountain (Details)</li></ul></li></ul> <p>Please confirm that the clouded sheets align with the understanding of work yet to be performed. (Summary of Work narrative attached for reference.)</p> <p><b>Attachments</b><br/><a href="#">Screenshot 2025-04-07 114612.png</a>, <a href="#">Screenshot 2025-04-07 115303.png</a>, <a href="#">01-01-00_Summary_Foussat-ADA.pdf</a></p> |
| Official Response | <p><b>Response from Amanda Weinstein obrARCHITECTURE on Tuesday, Apr 15, 2025 at 04:42 PM PDT</b></p> <p>Please see attached markups for clarification.</p> <p><b>Attachments</b><br/><a href="#">2025_0410_RFI001-DWG Review - ADA Scope_obrRESPONSE.pdf</a></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |



A-1.3R



## **Foussat**

### A-1.0R OVERALL SITE PLAN

- (N) PEDESTRIAN GATE AT (N) POT
  - SEE DETAIL 4/T1.3R
- (E) TOW AWAY SIGNS NEED TO BE REPLACED
  - SEE DETAIL 7/T1.3R

### A-1.1R ENLARGED SITE PLAN - KINDERGARTEN AREA

- NEW CONCRETE SIDEWALK TO MEET ACCESSIBLE CLEARANCE PER DETAIL 9/A-2.0R
- 1.20 (N) PEDESTRIAN GATE WITH PANIC HARDWARE PER DETAIL 1/A-2.0R

### A-1.3R KINDERGARTEN DRINKING FOUNTAIN

- ALL DETAILS (1-8)

### A-1.4R BUILDING A - PATH OF TRAVEL/ DOOR CLEARANCES

- ENTIRE SHEET
  - DEMO CASEWORK TO MEET 1'-0" LATCH SIDE REQUIRED CLEARANCE AT DOOR. VERIFY IN FIELD (3) CABINET DOORS TO BE REMOVED TO MEET 48" MIN APPROACH CLEARANCE; SAWCUT EXISTING CARCASS & REFINISH TO MATCH ADJACENT CASEWORK. SALVAGE EXISTING DOOR FOR REUSE @ NEW FACE OF CASEWORK. COUNTER TO REMAIN PROUD OF CABINETS BELOW TO MATCH ADJACENT OFFSET, WHILE STILL MEETING LATCH SIDE CLEARANCE
  - ADD NEW END PANEL TO MATCH EXISTING CASEWORK
  - REF. LINE INDICATING NEW FACE OF CASEWORK

### A-2.0R DETAILS

- DETAIL 7 (E) BLDG B ENLARGED STAFF RESTROOM PLAN
- DETAIL 8 RESTROOM MOUNTING HEIGHTS

### C1.0 OVERALL SITE PLAN

- NEW CONSTRUCTION TO INCLUDE PAVING OF ADA ACCESS AISLES AND STALLS, INSTALLATION OF TRUNCATED DOMES, AND ACCESSIBLE LOADING/DROP OFF ZONES, NEW RAMPS AND ASSOCIATED PAVING

### C1.1 DEMOLITION PLAN

- ENTIRE SHEET

### C1.2 FOUSSAT RELOS UPDATED PRECISE GRADING

- ENTIRE SHEET

### C1.5 ADA DETAILS

- ALL DETAILS (1-9)

### C1.6 ADA DETAILS

- ALL DETAILS (1-5)

### C1.7 FOUSSAT LOT EROSION CONTROL NOTES DETAILS

- ENTIRE SHEET

### C1.8 RELOS EROSION CONTROL PLAN

- AREA OF WORK 3
  - ALL SCOPE
- AREA OF WORK 1-2
  - AS APPROPRIATE BASED ON VERIFICATION OF EXISTING SITE CONDITIONS

### T-1.2R ACCESSIBILITY NOTES

- DETAIL 1
  - AS APPROPRIATE BASED ON VERIFICATION OF EXISTING SITE CONDITIONS

### T-1.3R ACCESSIBILITY DETAILS

- DETAIL 5 ACCESSIBLE PARKING SIGNAGE

- DETAIL 6 DRINKING FOUNTAIN CLEARANCES
  - AS APPROPRIATE BASED ON VERIFICATION OF EXISTING SITE CONDITIONS
- DETAIL 7 ACCESS PARKING TOW AWAY SIGN
- DETAIL 8 (E) DRINKING FOUNTAIN BUILDING 'E' – ACCESSIBLE COMPLIANCE PER DETAIL 6/T1.3R
  - AS APPROPRIATE BASED ON VERIFICATION OF EXISTING SITE CONDITIONS
- DETAIL 8\* (E) CABINET REMOVAL BUILDING A
  - REMOVAL OF CABINET TO MEET 12" CLEARANCE FOR ACCESSIBLE DOOR
  - REFERENCE DOOR CLEARANCE ON SHEET A-1.4R DOOR 3



Oceanside USD  
2111 Mission Ave  
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Project: 820-762 Foussat - Relocatables  
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## RFI #1: DWG Review - ADA Scope

|                 |                                                                                                                                                                                                                                                                                                                     |                 |                                    |
|-----------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|------------------------------------|
| Status          | Open                                                                                                                                                                                                                                                                                                                |                 |                                    |
| To              | Amanda Weinstein (obrARCHITECTURE)<br>(Response Required)                                                                                                                                                                                                                                                           | From            | James McGrane (MAAS)<br>California |
| Date Initiated  | Apr 9, 2025                                                                                                                                                                                                                                                                                                         | Due Date        | Apr 16, 2025                       |
| Location        |                                                                                                                                                                                                                                                                                                                     | Project Stage   | Bid                                |
| Cost Impact     |                                                                                                                                                                                                                                                                                                                     | Schedule Impact |                                    |
| Spec Section    |                                                                                                                                                                                                                                                                                                                     |                 |                                    |
| Drawing Number  | T1.3R, A-1.1R, A-1.3R                                                                                                                                                                                                                                                                                               | Reference       |                                    |
| Linked Drawings | <a href="#">C1.0</a> , <a href="#">C1.7</a> , <a href="#">A-1.3R</a> , <a href="#">C1.1</a> , <a href="#">A-1.1R</a> , <a href="#">C1.6</a> , <a href="#">A-1.0R</a> , <a href="#">A-1.4R</a> , <a href="#">C1.2</a> , <a href="#">A-2.0R</a> , <a href="#">C1.8</a> , <a href="#">T1.3R</a> , <a href="#">C1.5</a> |                 |                                    |
| Received From   | James McGrane (MAAS)                                                                                                                                                                                                                                                                                                |                 |                                    |
| Copies To       | Nasser Behroozian (TYR, Inc), Corrisa Bolls (MAAS)<br>, Anney Rosenthal-Hall (obrARCHITECTURE),<br>Amanda Weinstein (obrARCHITECTURE)                                                                                                                                                                               |                 |                                    |
| Revision        |                                                                                                                                                                                                                                                                                                                     |                 |                                    |

### Activity

#### Question

**Question from James McGrane MAAS on Monday, Apr 7, 2025 at 11:15 AM PDT**

Please provide clarity on the following inconsistencies found in the DSA approved set:

- T1.3R - Two detail #8's
- A-1.1R - Kindergarten Drinking Fountain does not appear on Enlarged Site Plan
  - Callout on POT references OVERALL SITE PLAN for Drinking Fountain rather than A-1.3R for Kindergarten Drinking Fountain (Details)

Please confirm that the clouded sheets align with the understanding of work yet to be performed. (Summary of Work narrative attached for reference.)

#### Attachments

[Screenshot 2025-04-07 114612.png](#), [Screenshot 2025-04-07 115303.png](#), [01-01-00\\_Summary\\_Foussat-ADA.pdf](#)

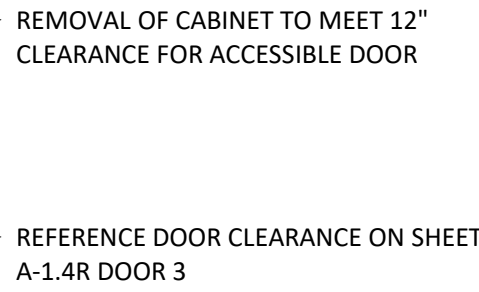
*Awaiting an Official Response*

Please see the attached sheets for markups clarifying inconsistencies. The two detail #8s on T-1.3R have been renamed to 8A and 8B.

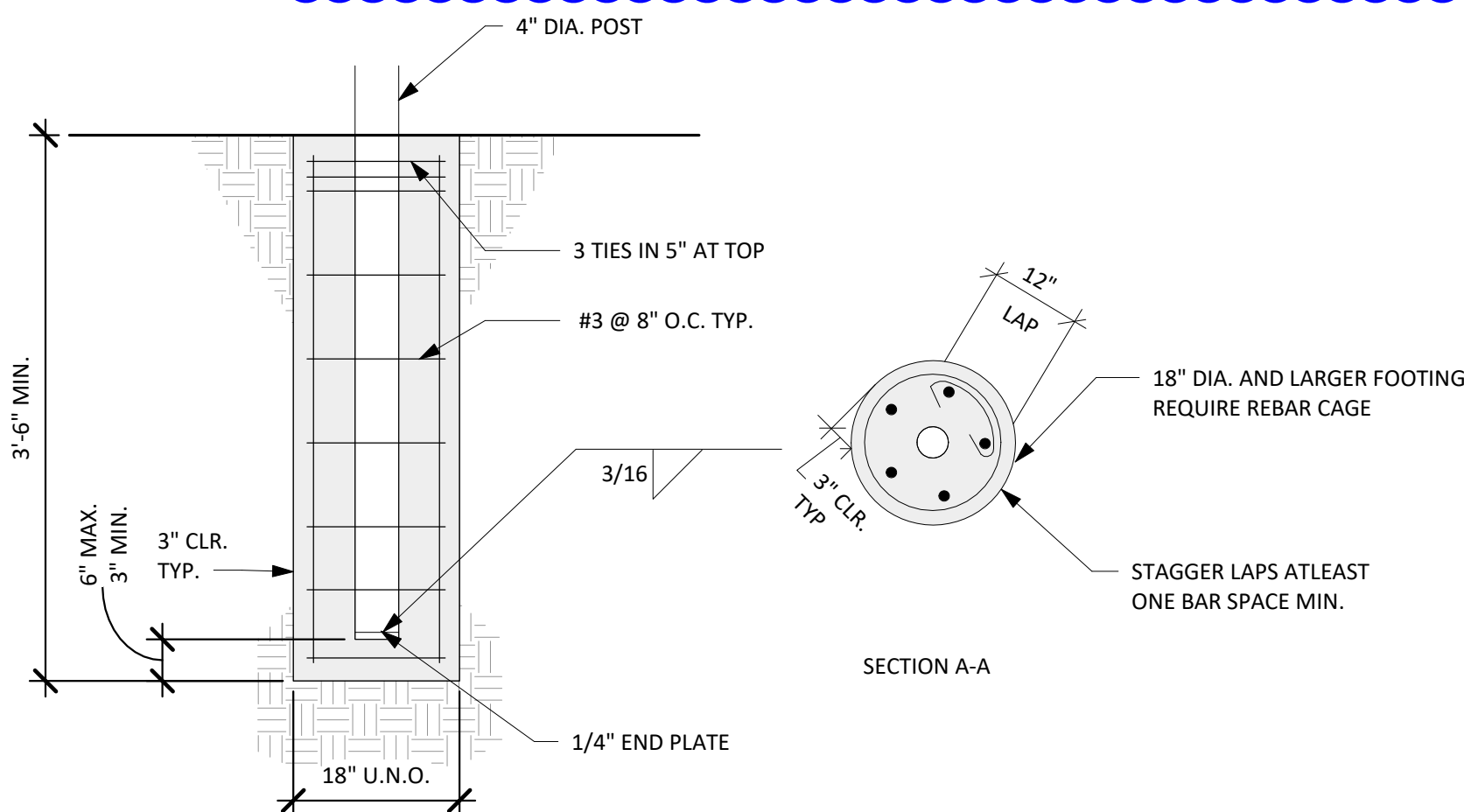
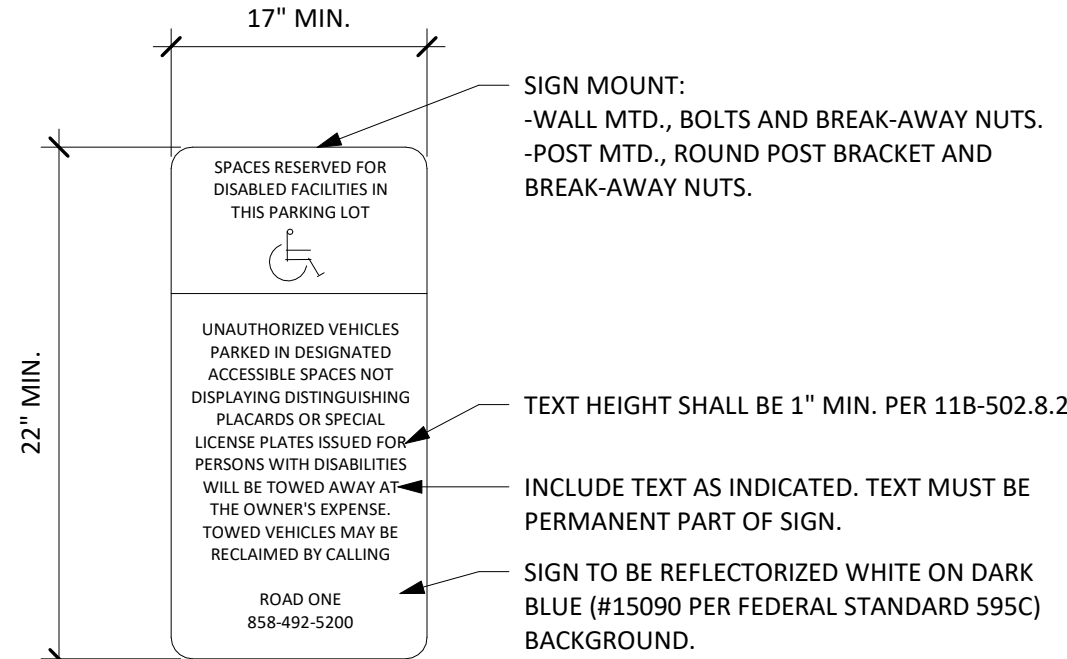
A note has been added to clarify that the drinking fountain details on A-1.3R apply to the kindergarten drinking fountain, called out on the overall site plan.

Please note that in review, the reference for A-1.0R to see Detail 4/T-1.3R was noted to be incorrect. This should reference detail 3/T-1.3R as noted on A-1.0R, and should be revised on the first bullet point of the summary.

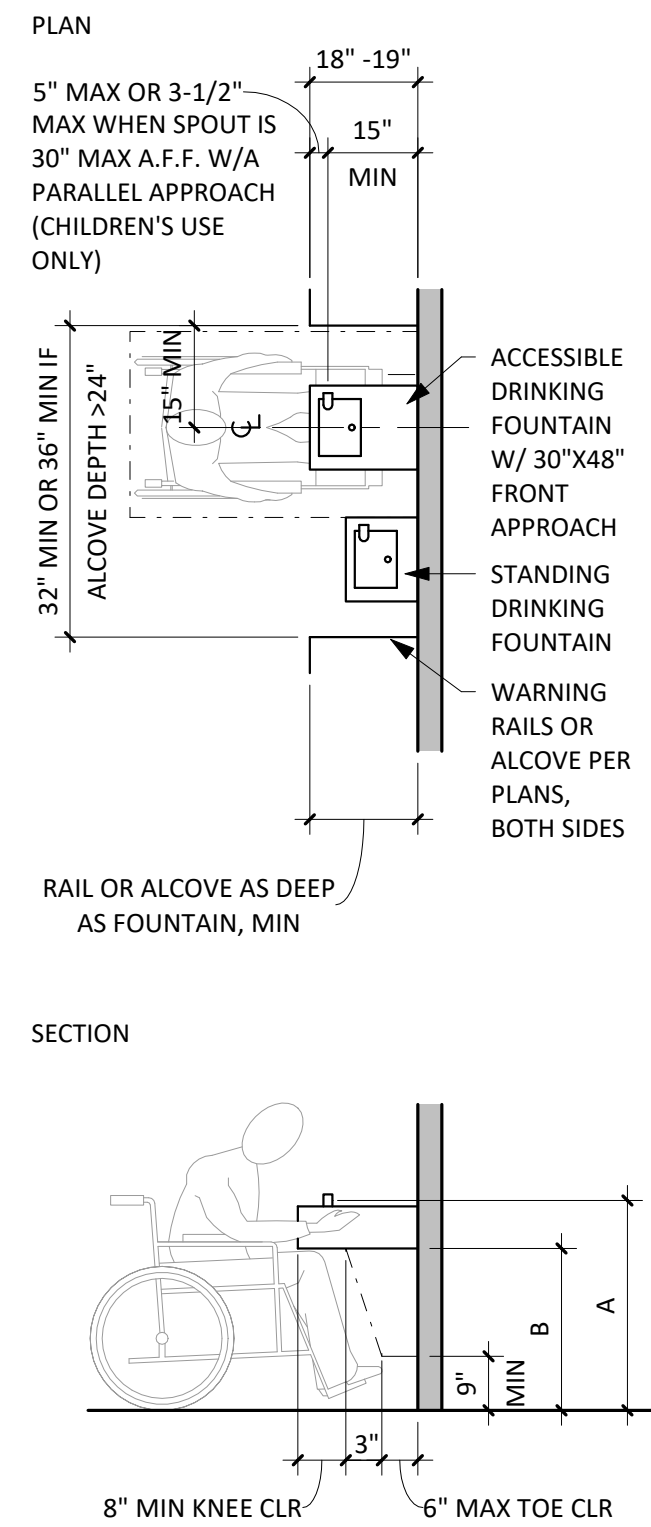




## 7 ACCESS PARKING TOW AWAY SIGN

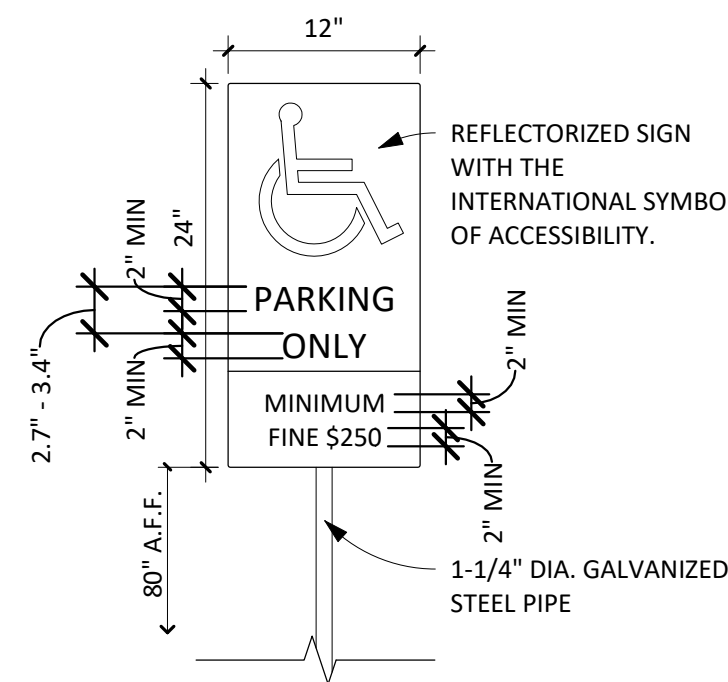


**9 FOOTING DETAIL**  
1/2" = 1'-0"



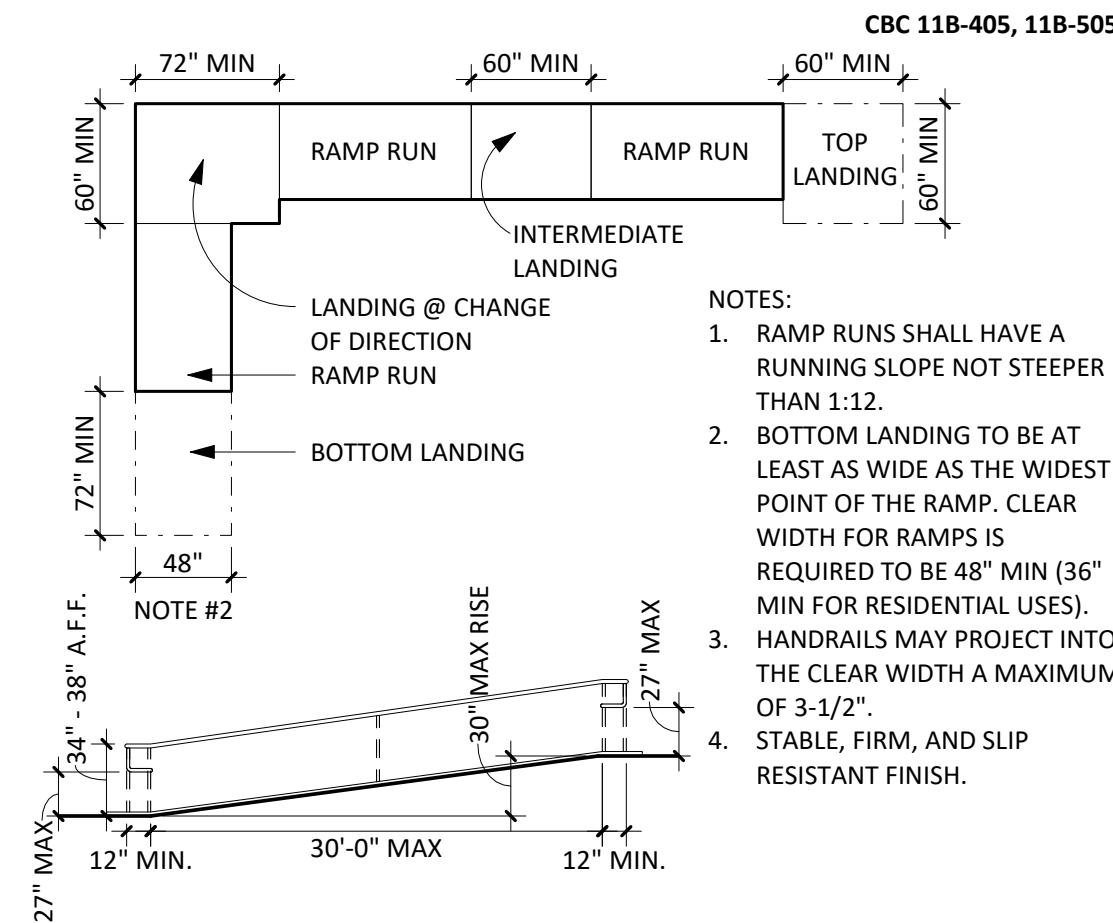
| MOUNTING HEIGHTS |                |                  |                   |                              |                                   |
|------------------|----------------|------------------|-------------------|------------------------------|-----------------------------------|
|                  | DIMENSION      | REQUIRED ACCESS. | REQUIRED STANDING | SUGGESTED ACCESS. ELEMENTARY | SUGGESTED ACCESS. PRE-K & KINDER. |
| A                | SPOUT HEIGHT   | 36" MAX          | 38" - 43"         | 32" MAX                      | 30" MAX                           |
| B                | KNEE CLEARANCE | 27" MIN          | N/A               | 27" MIN                      | N/A                               |

## 6 DRINKING FOUNTAIN CLEARANCES



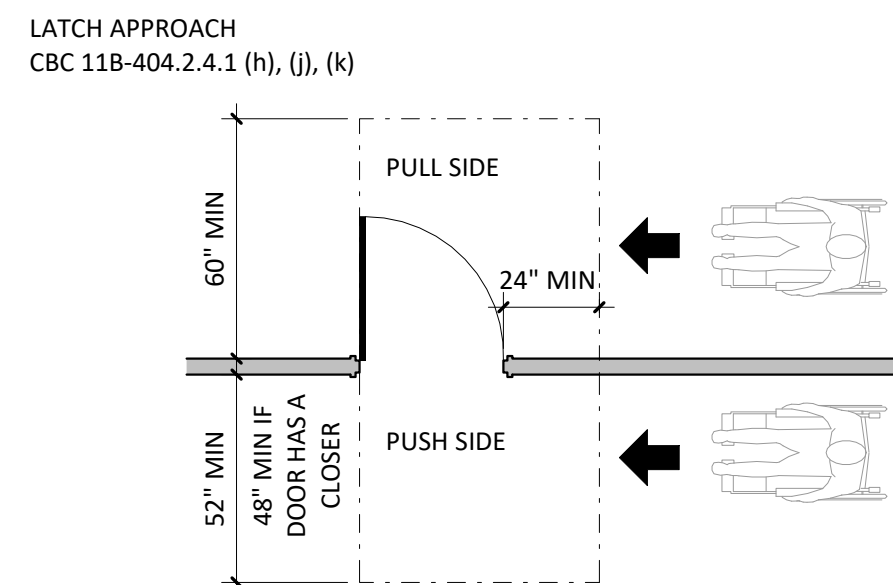
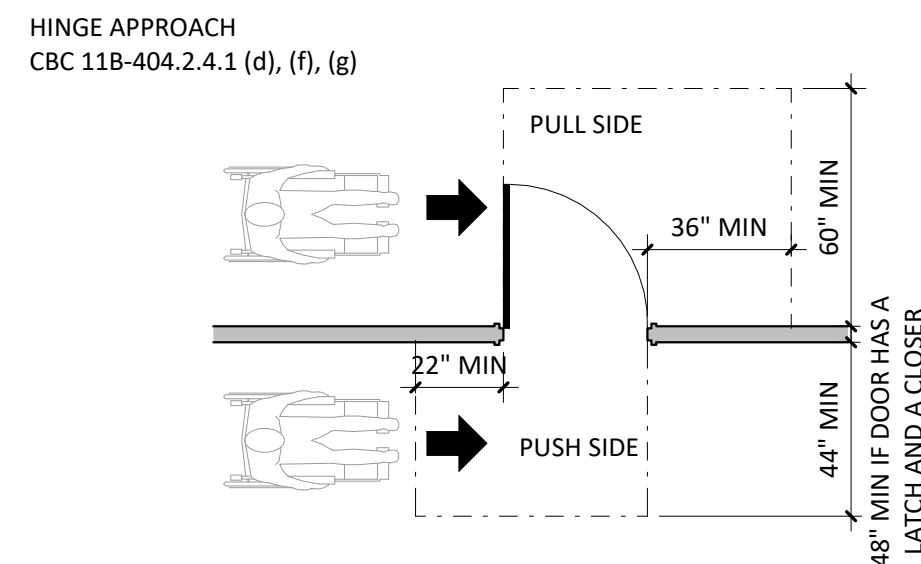
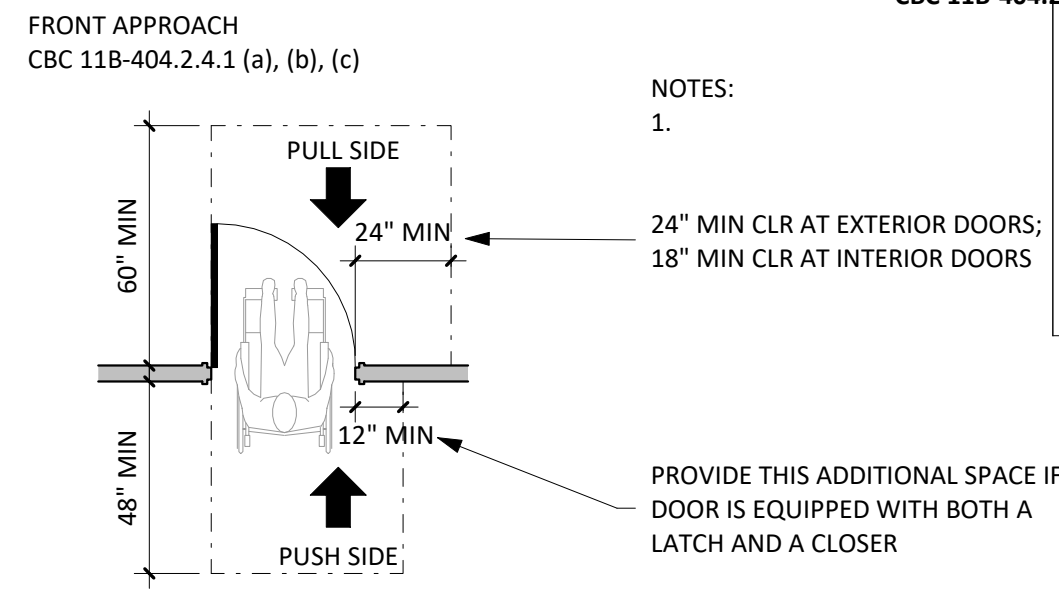
1. INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL COMPLY WITH SECTION 11B - 703.2.1
2. PARKING IDENTIFICATION SIGNS SHALL BE REFLECTORIZED WITH A MINIMUM AREA OF 70 SQUARE INCHES
3. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN WITH THE DESIGNATION "VAN ACCESSIBLE"
4. REFER TO 9/T1.3R FOR FOOTING DETAIL
5. BACKGROUND OF SIGN SHALL BE BLUE TO APPROXIMATE COLOR L90/10 OF FS 595C

## 5 ACCESSIBLE PARKING SIGNAGE

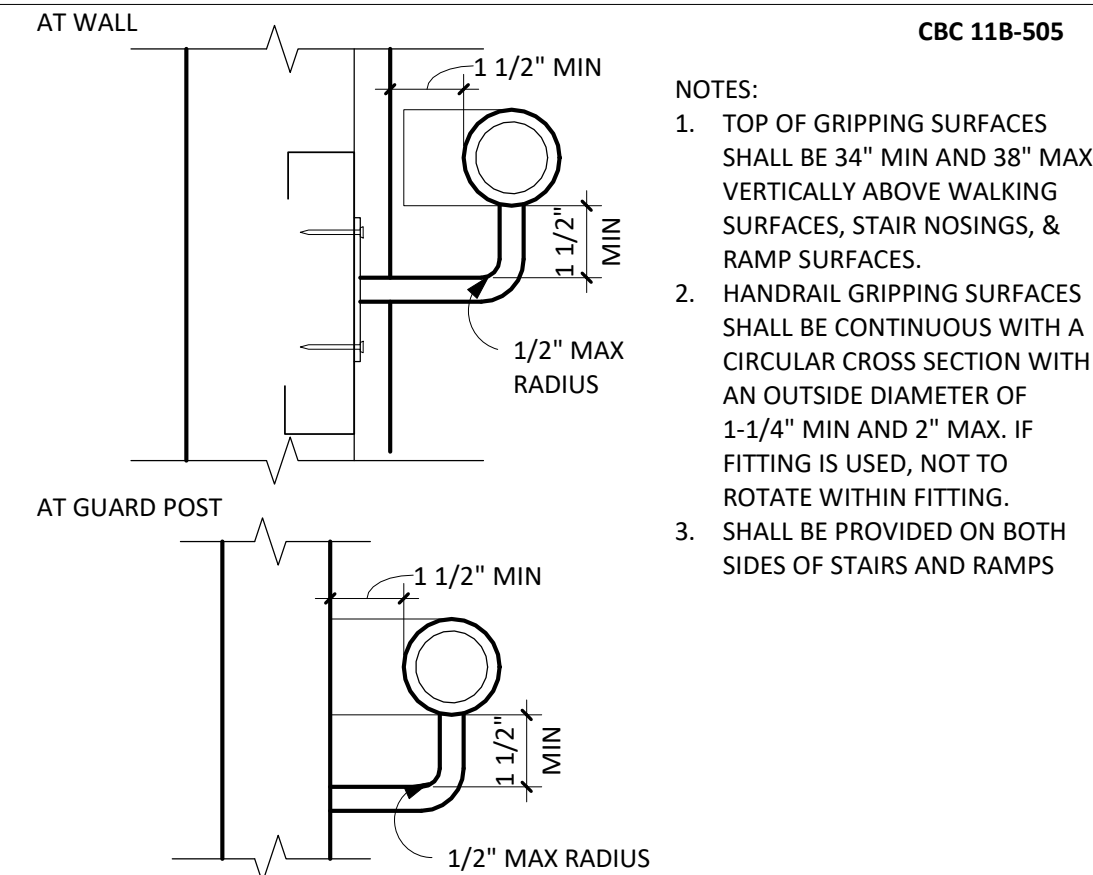


- NOTES:
1. RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12.
  2. BOTTOM LANDING TO BE AT LEAST AS WIDE AS THE WIDEST POINT OF THE RAMP. CLEAR WIDTH FOR RAMPS IS REQUIRED TO BE 48" MIN (36" MIN FOR RESIDENTIAL USES).
  3. HANDRAILS MAY PROJECT INTO THE CLEAR WIDTH A MAXIMUM OF 3-1/2".
  4. STABLE, FIRM, AND SLIP RESISTANT FINISH.

**4 RAMP REQUIREMENTS, TYP**  
1/8" = 1'-0"

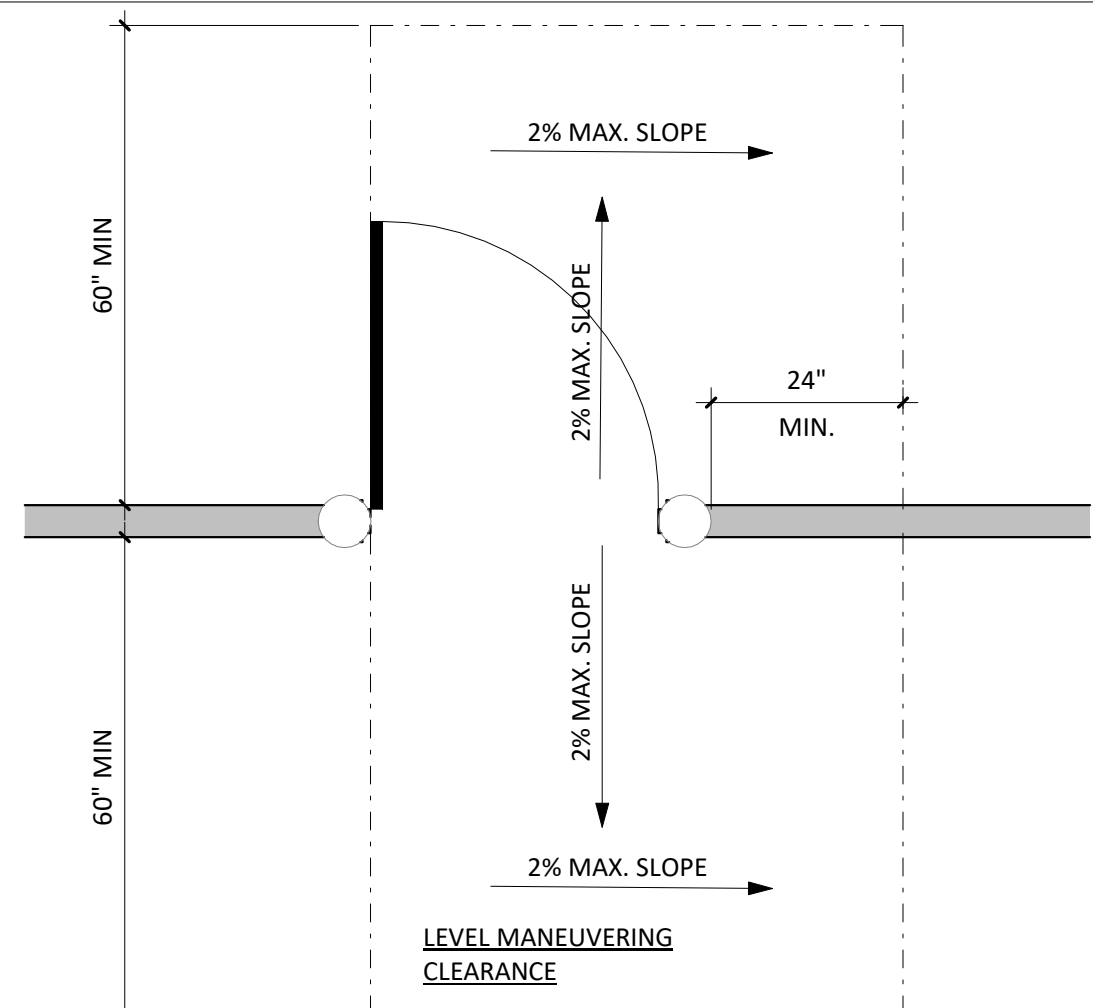


## 1 TYP MANEUVERING CLR AT MANUAL DOORS & GATE



- NOTES:**
1. TOP OF GRIPPING SURFACES SHALL BE 34" MIN AND 38" MAX VERTICALLY ABOVE WALKING SURFACES, STAIR NOSINGS, & RAMP SURFACES.
  2. HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS WITH A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF 1-1/4" MIN AND 2" MAX. IF FITTING IS USED, NOT TO ROTATE WITHIN FITTING.
  3. SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AND RAMPS

## 2 HANDRAIL REQUIREMENTS



### 3 LEVEL MANEUVERING CLEARANCE

IDENTIFICATION STAMP  
DIV. OF THE STATE ARCHITECT  
APP. 04-122837 INC:  
REVIEWED FOR  
SS ☒ FLS ☒ ACS ☒  
DATE: 01/22/2025



**OCEANSIDE UNIFIED  
SCHOOL DISTRICT**

## ACCESSIBILITY DETAILS

3800 Pala Rd, Oceanside, CA 92058  
DSA SUBMITTAL

PROJECT NO. OUSD-11

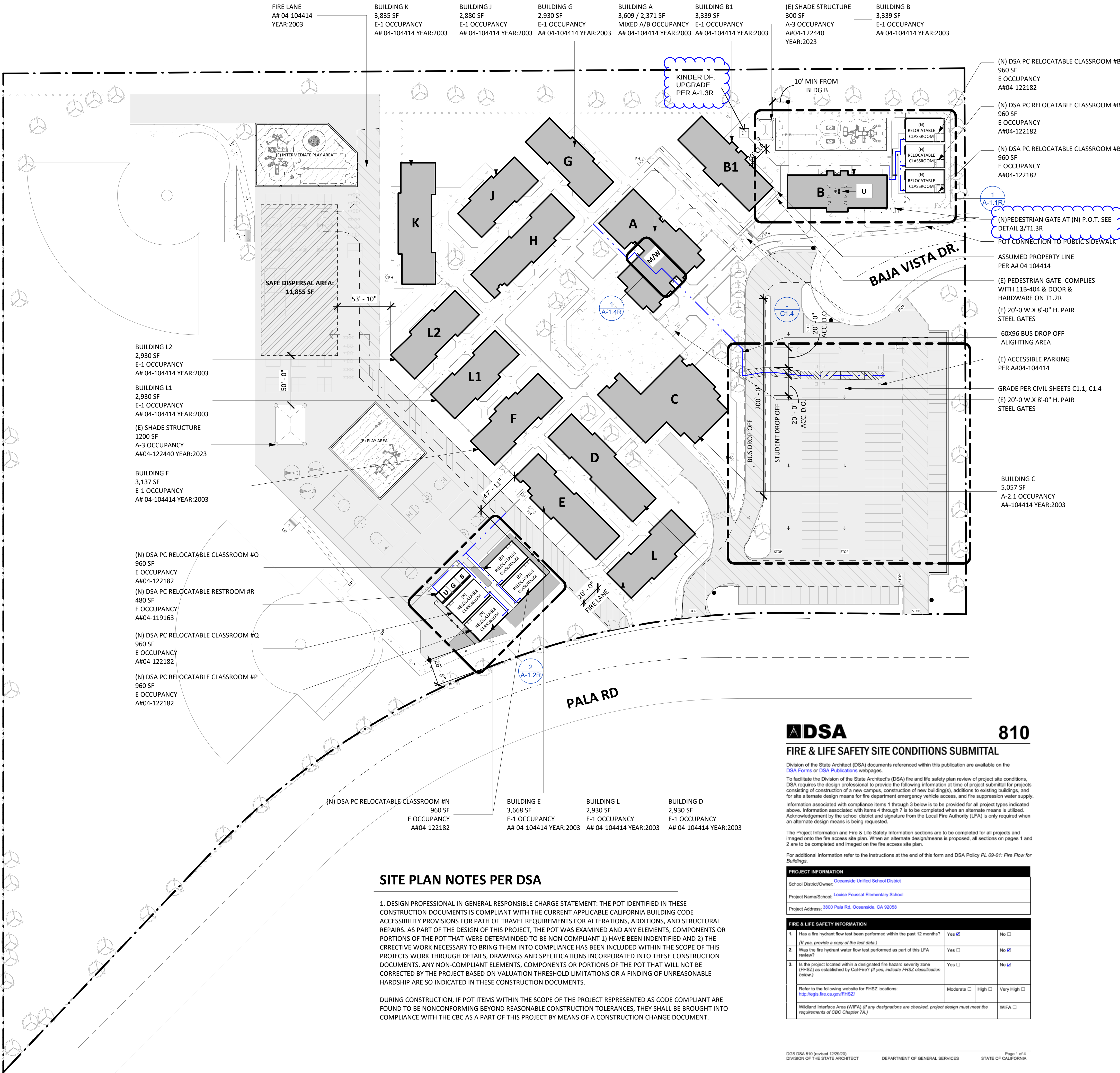
FILE NAME

| REVISIONS |            |  |
|-----------|------------|--|
| V2        | 06/18/2024 |  |
|           |            |  |
|           |            |  |
|           |            |  |

SHEET NO.

## T1.3R





1 OVERALL SITE PLAN  
1" = 50'-0"

SITE PLAN NOTES PER DSA

1. DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS, AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NON COMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECTS WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NON-COMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THE PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.

810  
FIRE & LIFE SAFETY SITE CONDITIONS SUBMITTAL

Division of the State Architect (DSA) documents referenced within this publication are available on the DSA Forms or DSA Publications webpages.

To facilitate the Division of the State Architect's (DSA) fire and life safety plan review of project site conditions, DSA requires the design professional to provide the following information at time of project submittal for projects consisting of construction of a new campus, construction of new building(s), additions to existing buildings, and for site alternate design means for fire department emergency vehicle access, and fire suppression water supply. Information associated with compliance items 1 through 3 below is to be provided for all project types indicated above. Information associated with items 4 through 7 is to be completed when an alternate means is utilized. Acknowledgement by the school district and signature from the Local Fire Authority (LFA) is only required when an alternate design means is being requested.

The Project Information and Fire & Life Safety Information sections are to be completed for all projects and imaged onto the fire access site plan. When an alternate design/means is proposed, all sections on pages 1 and 2 are to be completed and imaged on the fire access site plan.

For additional information refer to the instructions at the end of this form and DSA Policy PL 09-01: Fire Flow for Buildings.

| PROJECT INFORMATION                                                                                                                                      |                                         |                                        |                                                                  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------|----------------------------------------|------------------------------------------------------------------|
| School District/Owner: Oceanside Unified School District                                                                                                 |                                         |                                        |                                                                  |
| Project Name/School: Louise Foussat Elementary School                                                                                                    |                                         |                                        |                                                                  |
| Project Address: 3800 Pala Rd, Oceanside, CA 92058                                                                                                       |                                         |                                        |                                                                  |
| FIRE & LIFE SAFETY INFORMATION                                                                                                                           |                                         |                                        |                                                                  |
| 1. Has a fire hydrant flow test been performed within the past 12 months? (If yes, provide a copy of the test data.)                                     | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/>            |                                                                  |
| 2. Was the fire hydrant water flow test performed as part of this LFA review?                                                                            | Yes <input type="checkbox"/>            | No <input checked="" type="checkbox"/> |                                                                  |
| 3. Is the project located within a designated fire hazard severity zone (FHSZ) as established by Cal-Fire? (If yes, indicate FHSZ classification below.) | Yes <input type="checkbox"/>            | No <input checked="" type="checkbox"/> |                                                                  |
| Refer to the following website for FHSZ locations: <a href="http://oags.fire.ca.gov/FHSZ/">http://oags.fire.ca.gov/FHSZ/</a>                             |                                         | Moderate <input type="checkbox"/>      | High <input type="checkbox"/> Very High <input type="checkbox"/> |
| Wildland Interface Area (WIFA) (If any designations are checked, project design must meet the requirements of CBC Chapter 7A.)                           |                                         | WIFA <input type="checkbox"/>          |                                                                  |

GENERAL NOTES

- REFER TO SHEET T1.2R FOR SCOPE OF WORK AND SHEET T1.1R FOR SITE ACCESSIBILITY NOTES.
- ALL ITEMS ARE (E) U.N.O.
- SEE PC DRAWINGS FOR CLASSROOM BUILDING LAYOUTS.
- CONTRACTORS BIDDING OR PERFORMING WORK SHALL VERIFY THE CONDITIONS OF THE SITE, INCLUDING ACCESS, BEFORE SUBMITTING BID OR COMMENCING WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOR DIRECTION.
- REFERENCE ELECTRICAL DRAWINGS FOR ALL UNDERGROUND UTILITY WORK TO BE COMPLETED IN THIS CONTRACT.
- GENERAL CONTRACTOR TO COORDINATE ALL PHASING AND UTILITY INTERRUPTIONS OF THIS PROJECT WITH THE OWNER AND ARCHITECT AS TO DO THE LEAST POSSIBLE INTERRUPTIONS. (AS REQUIRED).
- EXCAVATION AND TRENCHING SHALL COMPLY WITH THE REQUIREMENTS OF THE TESTING LAB AND JURISDICTIONAL REQUIREMENTS AT THE TIME WORK COMMENCES AND UP TO COMPLETION OF THE WORK.
- ALL N.I.C. ITEMS INDICATED ON PLAN ARE NOT PART OF THIS APPROVAL.
- PATH OF TRAVEL, (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERT. AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P.O.T.) SHALL MAINTAIN FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT.

PLAN LEGEND

- PROPERTY LINE
- ASSUMED PROPERTY LINE PER A# 04 104414
- AREA OF WORK
- (N) 6' CHAINLINK FENCE, REF DETAIL 4/A-2.0R
- CHAINLINK FENCE TO REMAIN, PROTECT IN PLACE
- (E) PATH OF TRAVEL PER A# 04-104414
- (N) PATH OF TRAVEL
- EXISTING TOW AWAY SIGNS NEED TO BE REPLACED SEE DETAIL 7/T1.3R
- BUILDING TO REMAIN, PROTECT IN PLACE
- CONCRETE TO REMAIN, PROTECT IN PLACE
- ASPHALT TO REMAIN, PROTECT IN PLACE
- LANDSCAPE TO REMAIN, PROTECT IN PLACE
- SAFE DISPERSAL AREA PER A# 04-104414
- 20' WIDE FIRE ACCESS LANE PER A# 04-104414
- INDICATES LOCATION OF (E) DRINKING FOUNTAIN PER A#04-104414
- TREE TO REMAIN - PROTECT IN PLACE
- FIRE HYDRANT PER A# 04-104414
- G GIRLS STUDENT RESTROOM
- B BOYS STUDENT RESTROOM
- W WOMENS STAFF RESTROOM
- M MENS STAFF RESTROOM
- U UNISEX STAFF RESTROOM
- DF DRINKING FOUNTAIN

BUILDING CODE ANALYSIS

CODE REFERENCES: 2022 CBC, CCR TITLE 24, PART 2

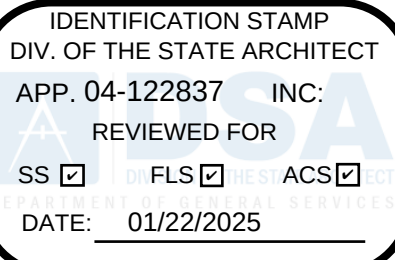
| AREA CALCULATIONS- KINDER AREA |          |            |             |                  |                |
|--------------------------------|----------|------------|-------------|------------------|----------------|
| STRUCTURE                      | AREA     | OCC. GROUP | CONST. TYPE | ALLOWABLE HEIGHT | ALLOWABLE AREA |
| (N) BUILDING #B2               | 960 SF   | E          | V-B         | 40 FT            | 9,500 SF       |
| (N) BUILDING #B3               | 960 SF   | E          | V-B         | 40 FT            | 9,500 SF       |
| (N) BUILDING #B4               | 960 SF   | E          | V-B         | 40 FT            | 9,500 SF       |
| (E) BUILDING B                 | 3,339 SF | E          | V-B         | 40 FT            | 9,500 SF       |
| TOTAL:                         | 6,219 SF |            |             |                  | 3,281 SF UNDER |

| AREA CALCULATIONS- INTERMEDIATE AREA |          |            |             |                  |                |
|--------------------------------------|----------|------------|-------------|------------------|----------------|
| STRUCTURE                            | AREA     | OCC. GROUP | CONST. TYPE | ALLOWABLE HEIGHT | ALLOWABLE AREA |
| (N) BUILDING #N                      | 960 SF   | E          | V-B         | 40 FT            | 9,500 SF       |
| (N) BUILDING #O                      | 960 SF   | E          | V-B         | 40 FT            | 9,500 SF       |
| (N) BUILDING #R                      | 960 SF   | E          | V-B         | 40 FT            | 9,500 SF       |
| (N) BUILDING #Q                      | 960 SF   | E          | V-B         | 40 FT            | 9,500 SF       |
| (N) BUILDING #R                      | 484 SF   | N/A        | V-B         | 40 FT            | 9,500 SF       |
| TOTAL:                               | 4,324 SF |            |             |                  | 5,176 SF UNDER |

| PARKING COUNT CALCULATIONS |                             |                                 |
|----------------------------|-----------------------------|---------------------------------|
| TOTAL # OF PARKING SPACES  | MIN ACCESSIBLE SPACES REQ'D | # OF ACCESSIBLE SPACES PROVIDED |
| 133                        | 5 (INCLUDING 1 VAN)         | 6 (1 VAN REQ'D)                 |

FLOOD ZONE NOTES

Per flood map the site is located within special hazard area Zone A99. Per DSA PR 14-01, section 2.1 provide:  
The flood zone designation: A99  
RIFM panel designation: 06073C0752H  
Effective date of the FIR: October, 2020  
Base flood elevation (BFE): 1 FEET  
Applicable community ordinance section: 060294



OCEANSIDE UNIFIED SCHOOL DISTRICT

LOUISE FOUSSAT ELEMENTARY SCHOOL- MODULAR INFRASTRUCTURE

3800 Pala Rd, Oceanside, CA 92058

DSA SUBMITTAL

OVERALL SITE PLAN

PROJECT NO. OUSD-11

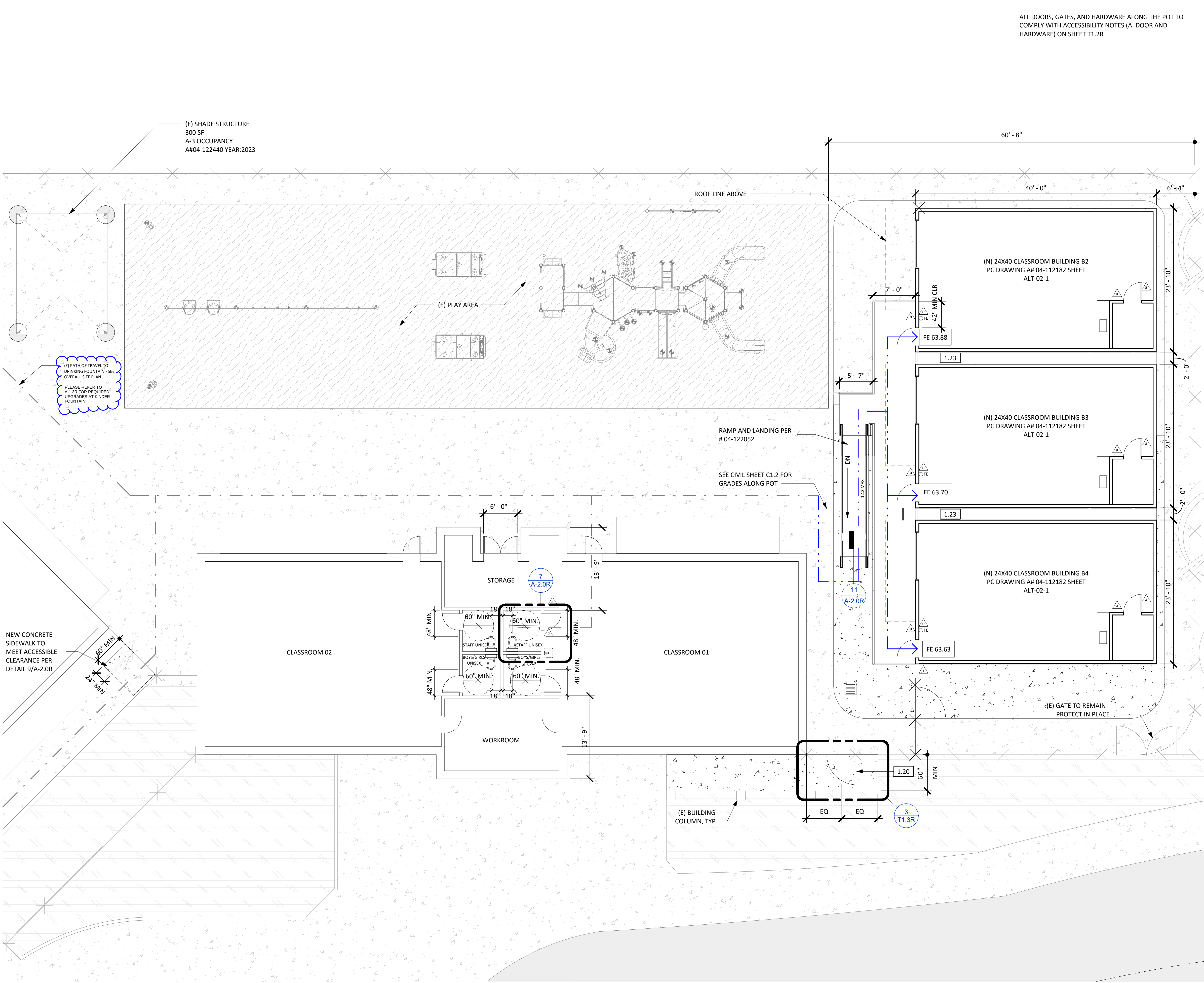
FILE NAME

REVISIONS  
V2 06/11/2024

SHEET NO.

A-1.0R





ALL DOORS, GATES, AND HARDWARE ALONG THE POT TO COMPLY WITH ACCESSIBILITY NOTES (A. DOOR AND HARDWARE) ON SHEET T1.2R

## GENERAL NOTES

- REFER TO GENERAL NOTES ON SHEET T1.1R AND T1.2R FOR FURTHER INFORMATION AND REQUIREMENTS
- REFER TO DSA PC RELOCATABLE BUILDING DRAWINGS FOR RESTROOMS AND CLASSROOM LAYOUT.
- THE CONTRACTOR SHALL MAINTAIN THE FIRE ACCESS LANE (MIN 20' CLEAR) AS SHOWN ON SHEET A-1.0R THROUGHOUT CONSTRUCTION
- QUANTITIES PROVIDED IN CONTRACT DOCUMENTS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR, PRIOR TO SUBMITTING A BID.
- CONTRACTOR SHALL VISIT SITE, REPORT ANY DISCREPANCIES DISCOVERED TO THE DISTRICT, THROUGH A BID RFI, PRIOR TO SUBMITTING A BID. COORDINATE ALL SITE VISITS WITH DISTRICT REPRESENTATIVE, PRIOR TO VISITING SITE. ALL SITE VISITS WITHOUT DISTRICT ATTENDANCE AND/OR PERMISSION WILL BE DENIED.
- CONTRACTOR TO PROVIDE AND INSTALL ALL BATHROOM ACCESSORIES PER 8/A-2.0R MUST BE INSTALLED TO MATCH THE INSTALLATION AGE RANGE OF THE PLUMBING FIXTURES: BLDGS B2, B3, B4, INSTALL AT 14"-17" AFF TO CL OF DISPENSER ROLL, OTHER BUILDINGS ARE ADULT HEIGHT. THE ITEMS BELOW ARE TO BE INCLUDED.
  - A. TOILET PAPER DISPENSER
  - B. ACCESSIBLE GRAB BARS PER #A04-122182, SHEET ALT-09 & PER #A04-119163
  - C. SOAP DISPENSER
  - D. PAPER TOWEL DISPENSER
- ALL ITEMS ARE EXISTING U.N.O.
- PATH OF TRAVEL, (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERT. AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P.O.T.) SHALL MAINTAIN FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT.
- ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDING IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHERE ACCESS IS BY WAY OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO CBC SECTION 501.2

## ASSISTIVE LISTENING SYSTEM NOTES:

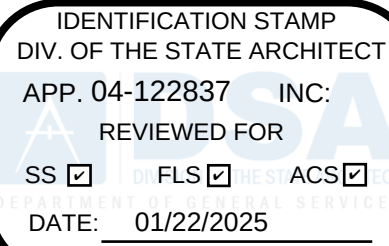
- ASSISTIVE-LISTENING SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CBC SECTION 11B-219 AND SHALL COMPLY WITH CBC SECTION 11B-706.
- PROVIDE 2 PORTABLE ASSISTIVE LISTENING SYSTEMS KITS EACH WITH A TRANSMITTER AND A MINIMUM OF 2 RECEIVERS FOR USE IN CLASSROOMS WITHOUT AUDIO AMPLIFICATION. THE ASSISTIVE LISTENING RECEIVERS AND TRANSMITTER SHALL BE STORED IN THE SCHOOL SITE ADMINISTRATION OFFICE UNIT REQUESTED. -2020 DSA CODE APPEAL INTERPRETATION IS BEING APPLIED

## PLAN LEGEND

- PROPERTY LINE
- (N) 6' CHAINLINK FENCE, REF DETAIL 5/A-2.0R
- CHAINLINK FENCE TO REMAIN, PROTECT IN PLACE
- (N) PATH OF TRAVEL
- (E) PATH OF TRAVEL PER #A-104414
- CONCRETE TO REMAIN, PROTECT IN PLACE
- (N) CONCRETE
- ASPHALT TO REMAIN, PROTECT IN PLACE
- LANDSCAPE TO REMAIN, PROTECT IN PLACE
- SIGN TYPE PER DETAIL 1/T1.2R
- (N) O.F.O.I. CBC COMPLIANT FIRE EXTINGUISHER

## KEYNOTES

- 1.20 (N) PEDESTRIAN GATE WITH PANIC HARDWARE PER DETAIL 1/A-2.0R
- 1.23 (N) FULL HEIGHT ENCLOSURE PANEL PER DETAIL 10/A-2.0R



OCEANSIDE UNIFIED  
SCHOOL DISTRICT

ENLARGED SITE PLAN - KINDERGARTEN AREA

LOUISE FOUSSAT ELEMENTARY SCHOOL-  
MODULAR INFRASTRUCTURE

3800 Pala Rd, Oceanside, CA 92058  
DSA SUBMITTAL

PROJECT NO. OUSD-11

FILE NAME

REVISIONS

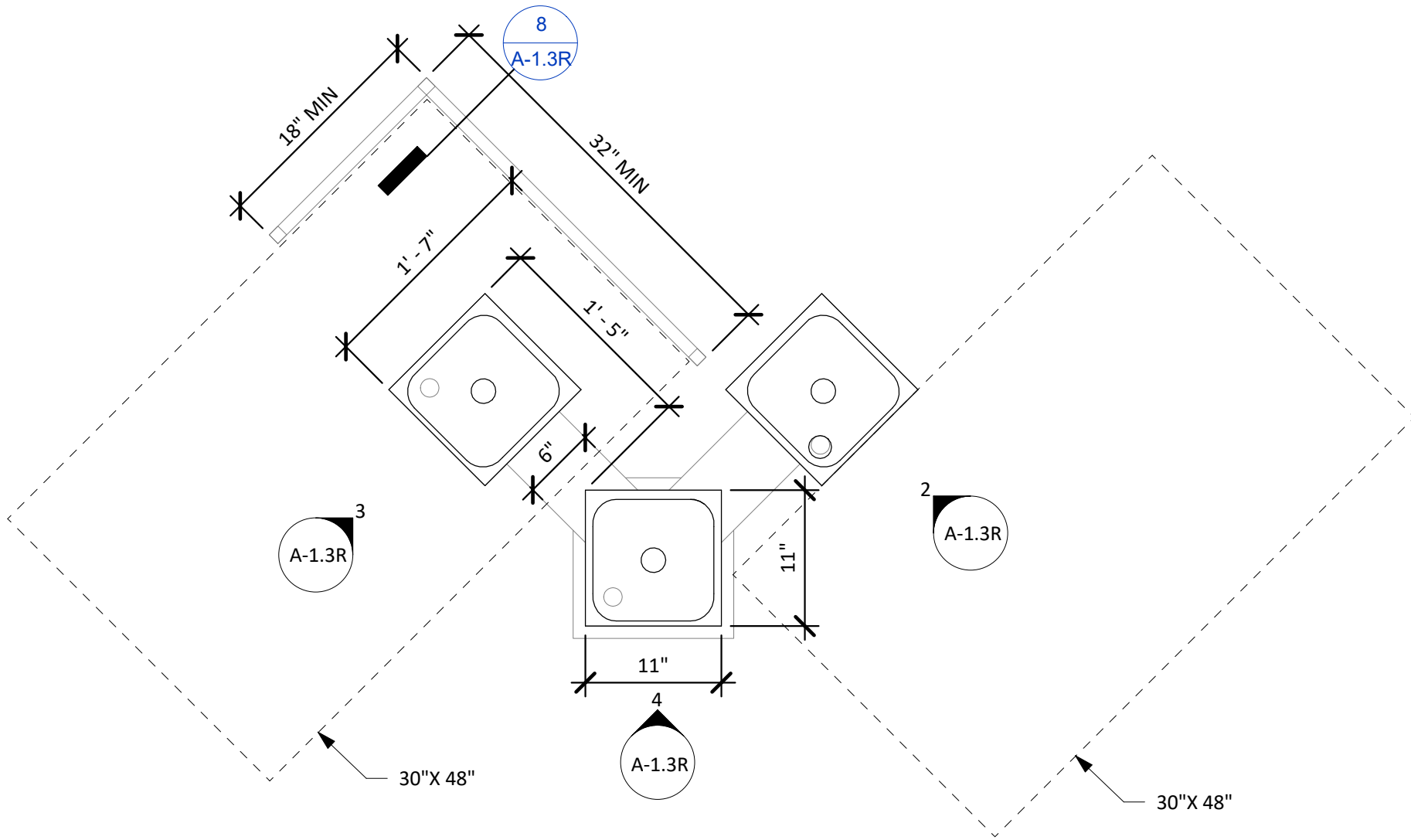
V2 06/18/2024

SHEET NO.

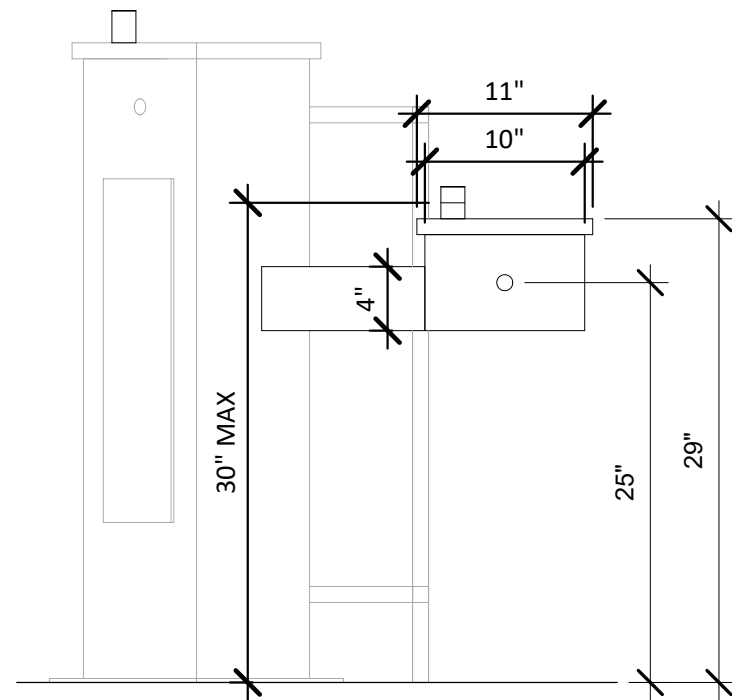
A-1.1R



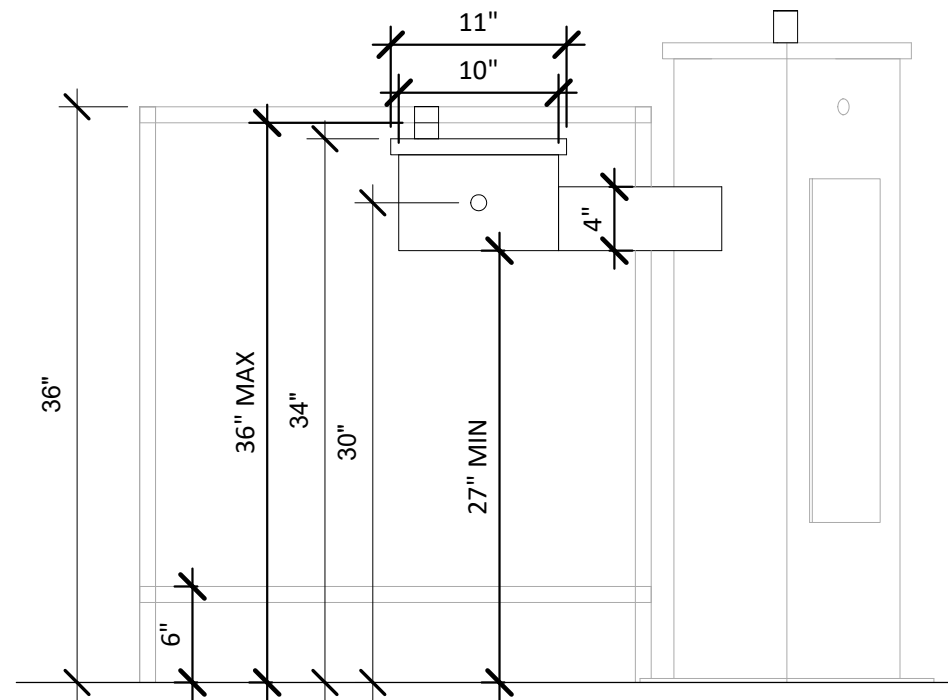
THE SPOUT SHALL PROVIDE A FLOW OF WATER 4 INCHES (102 MM) HIGH MINIMUM AND SHALL BE LOCATED 5 INCHES (127 MM) MAXIMUM FROM THE FRONT OF THE UNIT. THE ANGLE OF THE WATER STREAM SHALL BE MEASURED HORIZONTALLY RELATIVE TO THE FRONT FACE OF THE UNIT. WHERE SPOUTS ARE LOCATED LESS THAN 3 INCHES (76 MM) OF THE FRONT OF THE UNIT, THE ANGLE OF THE WATER STREAM SHALL BE 30 DEGREES MAXIMUM. WHERE SPOUTS ARE LOCATED BETWEEN 3 INCHES (76 MM) AND 5 INCHES (127 MM) MAXIMUM FROM THE FRONT OF THE UNIT, THE ANGLE OF THE WATER STREAM SHALL BE 15 DEGREES MAXIMUM. PER CODE 11B-602.6



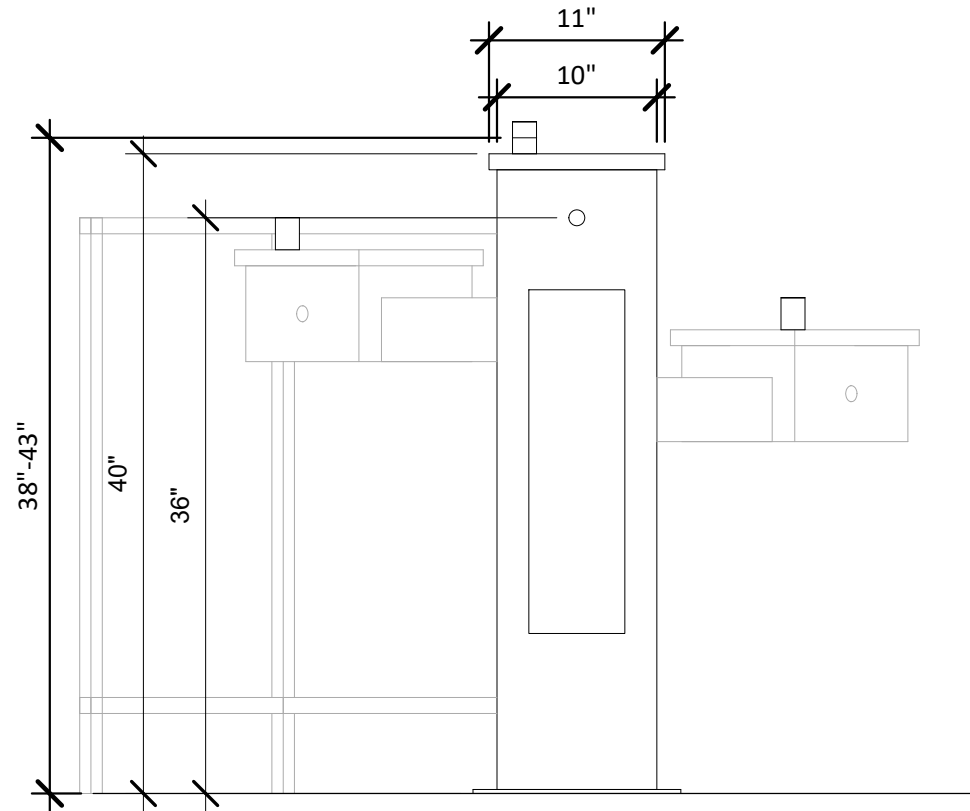
1 KINDERGARTEN DRINKING FOUNTAINS  
1" = 1'-0"



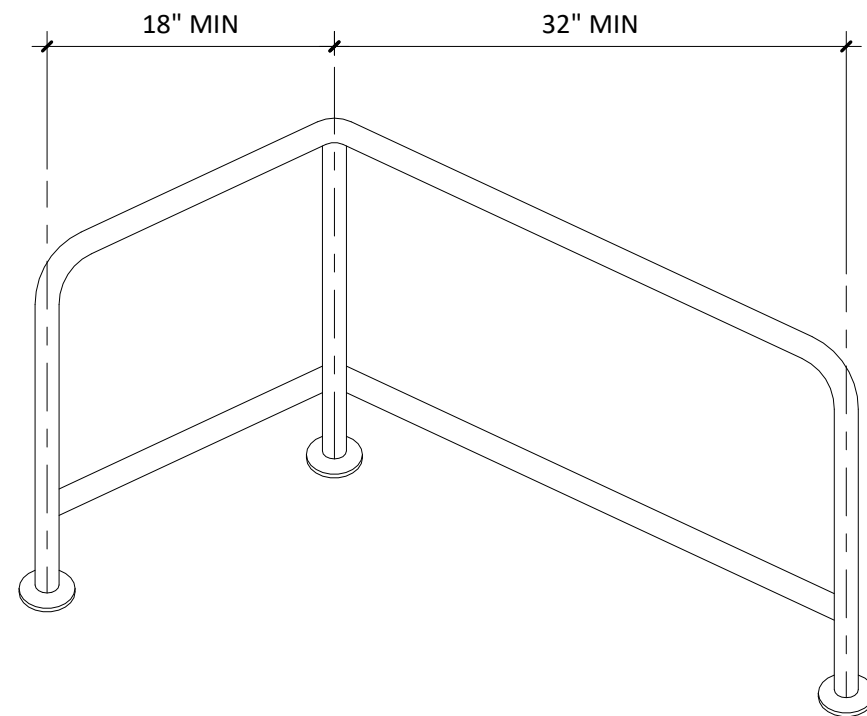
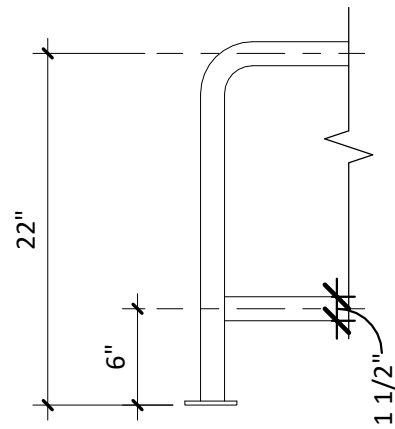
2 FRONT - LOW - DRINKING FOUNTAIN  
1" = 1'-0"



3 FRONT - MID - DRINKING FOUNTAIN  
1" = 1'-0"



4 FRONT - HIGH - DRINKING FOUNTAIN  
1" = 1'-0"



8 CANE DETECTION RAIL @ DRINKING FOUNTAIN  
1" = 1'-0"



5 ((E) KINDER AREA DRINKING FOUNTAIN -LOW  
12" = 1'-0"



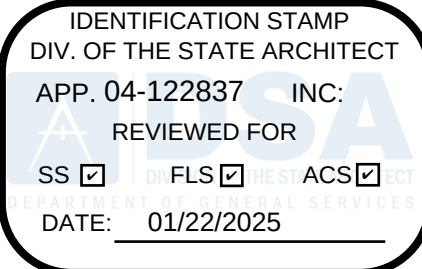
6 ((E) KINDER AREA DRINKING FOUNTAIN- MID  
12" = 1'-0"



7 ((E) KINDER AREA DRINKING FOUNTAIN-HIGH  
12" = 1'-0"

ALL DRINKING FOUNTAINS SHALL EITHER BE LOCATED COMPLETELY WITHIN ALCOVES, POSITIONED COMPLETELY BETWEEN WING WALLS, OR OTHERWISE POSITIONED SO AS NOT TO ENCRoACH INTO PEDESTRIAN WAYS. THE PROTECTED AREA WITHIN WHICH A DRINKING FOUNTAIN IS LOCATED SHALL BE 32 INCHES (813 MM) WIDE MINIMUM AND 18 INCHES (457 MM) DEEP MINIMUM, AND SHALL COMPLY WITH SECTION 11B-305.7. WHEN USED, WING WALLS OR BARRIERS SHALL PROJECT HORIZONTALLY AT LEAST AS FAR AS THE DRINKING FOUNTAIN AND TO WITHIN 6 INCHES (152 MM) VERTICALLY FROM THE FLOOR OR GROUND SURFACE. PER CODE 11B-602.9

PLEASE REFER TO ENLARGED KINDER PLAN (A-1.1R) AND SITE PLAN (A-1.0R) FOR LOCATION OF DRINKING FOUNTAIN NEEDING MODIFICATION



OCEANSIDE UNIFIED  
SCHOOL DISTRICT

KINDERGARTEN DRINKING FOUNTAIN  
LOUISE FOUSSAT ELEMENTARY SCHOOL-  
MODULAR INFRASTRUCTURE  
3800 Pala Rd, Oceanside, CA 92058  
DSA SUBMITTAL

PROJECT NO. OUSD-11

FILE NAME

REVISIONS

|  |  |  |
|--|--|--|
|  |  |  |
|  |  |  |
|  |  |  |

SHEET NO.

A-1.3R





Oceanside USD  
2111 Mission Ave  
Oceanside, California 92054  
P: (760) 966-4421

Project: 820-762 Foussat - Relocatables  
3800 Pala Rd  
Oceanside, California 92058

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## RFI #2: Pre-bid Scope Clarifications

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|                        |                      |                        |                      |
|------------------------|----------------------|------------------------|----------------------|
| <b>Status</b>          | Closed on 04/09/25   |                        |                      |
| <b>To</b>              | Corrisa Bolls (MAAS) | <b>From</b>            | Corrisa Bolls (MAAS) |
| <b>Date Initiated</b>  | Apr 9, 2025          | <b>Due Date</b>        | Apr 9, 2025          |
| <b>Location</b>        |                      | <b>Project Stage</b>   |                      |
| <b>Cost Impact</b>     |                      | <b>Schedule Impact</b> |                      |
| <b>Spec Section</b>    |                      |                        |                      |
| <b>Drawing Number</b>  | C1.1, C1.6, C1.5     | <b>Reference</b>       |                      |
| <b>Linked Drawings</b> |                      |                        |                      |
| <b>Received From</b>   |                      |                        |                      |
| <b>Copies To</b>       | Corrisa Bolls (MAAS) |                        |                      |
| <b>Revision</b>        |                      |                        |                      |

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**Activity****Question**

**Question from Corrisa Bolls MAAS on Wednesday, Apr 9, 2025 at 01:12 PM PDT**

Multiple questions regarding the scope of work required, as it pertains to the attached Civil sheets.

Sheet - C1.1 I have a reference to sheet C1.2 as well. **Questions:**

1. This area was still requesting truncated domes but since there are existing truncated domes I wanted to understand if we can keep the existing truncated domes.
2. I have a lot of dimensions provided since I feel like there are maneuverable clearance requirements. If you have a code I can reference or if you want to markup my dimensions to show what is needed in certain areas that would help. If you need any other photos or dimensions, please let me know.

Sheet - C1.4 is now C1.2: I have some dimensions and highlights for the areas in question. **Questions:**

1. The images show that we do not have 5' of sidewalk on either side of the sidewalk due to the existing fence. Please clarify if 5' is a minimum requirement for the sidewalk. (This will help me determine the scope needed for the existing fence at both sides.)
2. There appears to be a space between where the truncated domes were needed vs where the sidewalk striping starts. Please clarify if there is a minimum amount of spacing between the asphalt striping and sidewalk striping. You will see that one of the sidewalks already has striping that is 20' but that is dependent on the existing spacing shown. Please note, if there is a clearance requirement to obtain the 20', I may run into conflicts with the existing light post.
3. Please clarify if you want the opposite side of the pathway that does not have striping to mirror the sidewalk that already has striping. I have 3 options available on the attached C1.4 AKA C1.2 for your input.

Sheet - C1.5 - Photos of the parking lot already have striping and signs. **Questions:**

1. Detail 2 - Is the 3' spacing a hard dimension? I have about 2'5" from edge of wheel stop to the striping. (Which is about where the ADA sign is located.) Maybe the 3' is based on the spacing between the two wheel stops not the striping like I measured, please let me know.
2. Detail 3 - Does the ADA Parking stencil need to be solid white at the edges, the existing has spaces.

Sheet - C1.6 - Some more existing conditions **Questions:**

1. Detail 4 - Please confirm it is acceptable that the existing wheel stops are 7" not 9".
2. Detail 5 - Please clarify if it is acceptable, we keep the existing parking sign poles, since we are not planning to need to cut up the parking lot.
3. Detail 5 - I have images of how the existing poles have multiple signs attached to them. If we can keep the poles, please let me know if it is acceptable we use the existing application to install multiple signs on the poles.

**Attachments**

[C1.6 ADA Details MU.pdf](#), [C1.1\\_ DEMOLITION PLAN Rev.V3 MU.pdf](#), [C1.5\\_ ADA DETAILS Rev.V3 MU.pdf](#), [C1.4\\_ FOUSSAT LOT PRECISE GRADING Rev.V3 MU.pdf](#)

**Official Response**

**Response from Corrisa Bolls MAAS on Wednesday, Apr 9, 2025 at 01:17 PM PDT**

Civil Engineer Latitude 33 clarifications attached.

**Attachments**

[2025\\_0130\\_Foussat General Qs\\_Maas-L33 Responses.pdf](#)

**All Replies**

**Response from Corrisa Bolls MAAS on Wednesday, Apr 9, 2025 at 01:17 PM PDT**

Civil Engineer Latitude 33 clarifications attached.

**Attachments**

[2025\\_0130\\_Foussat General Qs\\_Maas-L33 Responses.pdf](#)

Sheet - C1.1 I have a reference to sheet C1.2 as well.

**Questions:**

1. This area was still requesting truncated domes but since there are existing truncated domes I wanted to understand if we can keep the existing truncated domes. **I believe this is only referring to the ramp area, and not the demo domes @ the striped asphalt? We need to make sure they meet the standard in the drawings; if they do they can remain. The images make it look like the sloping curb may be a little large/the truncated domes aren't the full width of the ramp.**
2. I have a lot of dimensions provided since I feel like there are maneuverable clearance requirements. If you have a code I can reference or if you want to markup my dimensions to show what is needed in certain areas that would help. If you need any other photos or dimensions, please let me know. **6" curb ht is fine. 4' min width of ramp is fine. 4' width & 3' depth of top "landing" is fine. For clarity - 4 ft depth of landing at the top of the ramp, beyond the grade break. I'm not sure if there is a specific area you are concerned about here, please let me know!**

Sheet - C1.4 is now C1.2: I have some dimensions and highlights for the areas in question.

**Questions:**

1. The images show that we do not have 5' of sidewalk on either side of the sidewalk due to the existing fence. Please clarify if 5' is a minimum requirement for the sidewalk. (This will help me determine the scope needed for the existing fence at both sides.) **DSA instructed us that the dimension of the sidewalk is from inside face of fence to outside face of curb (we can include the curb in the dimension!) so I think we are ok.**
2. There appears to be a space between where the truncated domes were needed vs where the sidewalk striping starts. Please clarify if there is a minimum amount of spacing between the asphalt striping and sidewalk striping. You will see that one of the sidewalks already has striping that is 20' but that is dependent on the existing spacing shown. Please note, if there is a clearance requirement to obtain the 20', I may run into conflicts with the existing light post. **The plans contemplate removal and replacement of portion of the curb and place a transition curb on the north side drop off, which will in fact be close to the light post.**
3. Please clarify if you want the opposite side of the pathway that does not have striping to mirror the sidewalk that already has striping. I have 3 options available on



the attached C1.4 AKA C1.2 for your input. **If I am understanding correctly, the sidewalk, curb, and painting should mirror the existing side.**

Sheet - C1.5 - Photos of the parking lot already have striping and signs.

**Questions:**

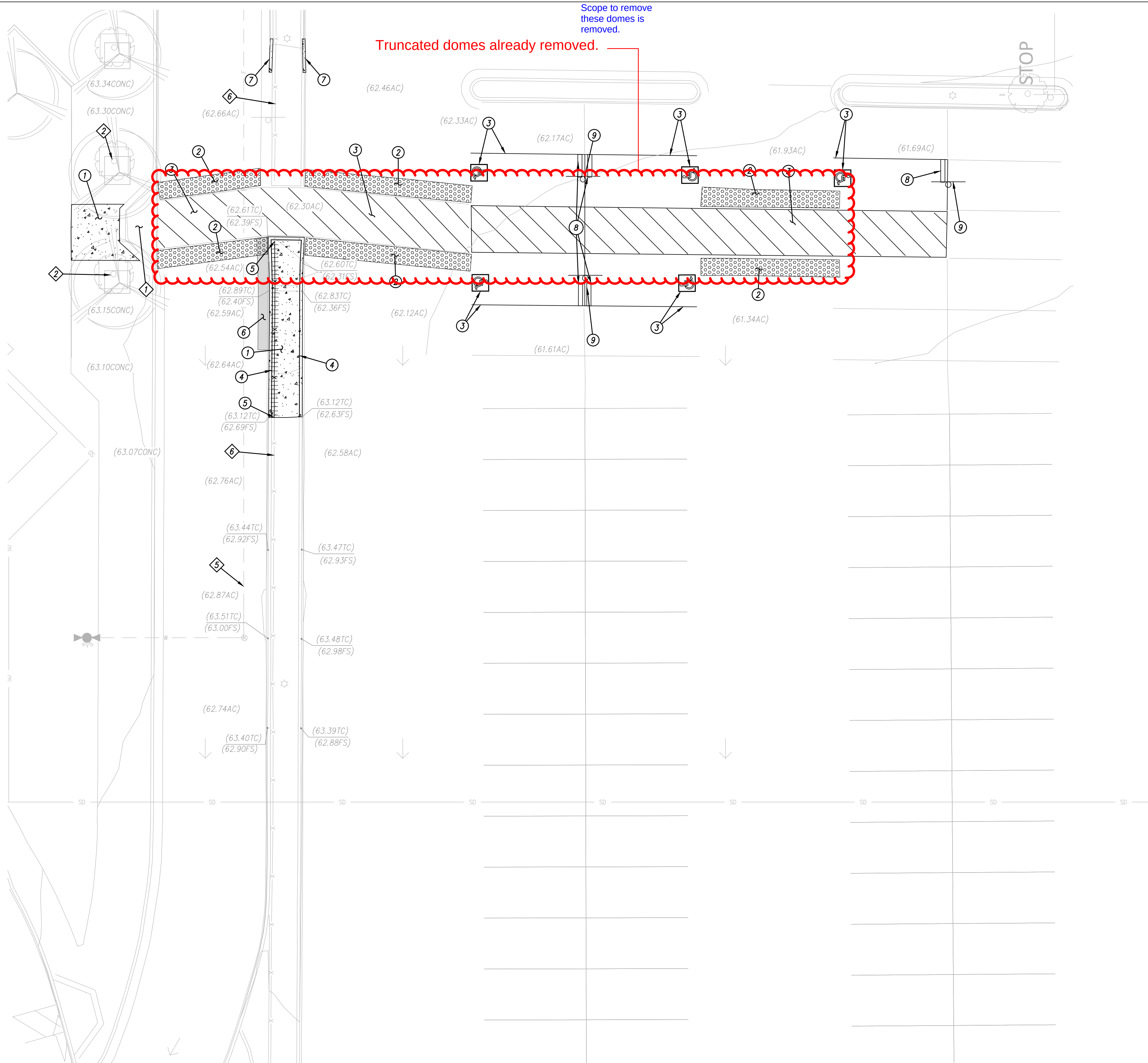
1. Detail 2 - Is the 3' spacing a hard dimension? I have about 2'5" from edge of wheel stop to the striping. (Which is about where the ADA sign is located.) Maybe the 3' is based on the spacing between the two wheel stops not the striping like I measured, please let me know. **Yes.**
2. Detail 3 - Does the ADA Parking stencil need to be solid white at the edges, the existing has spaces. **Yes.**

Sheet - C1.6 - Some more existing conditions

**Questions:**

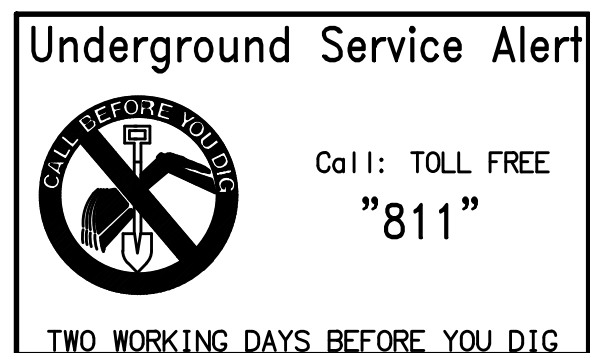
1. Detail 4 - Please confirm it is acceptable that the existing wheel stops are 7" not 9". **No.**
2. Detail 5 - Please clarify if it is acceptable, we keep the existing parking sign poles, since we are not planning to need to cut up the parking lot. **Yes, assuming they meet the standard in these drawings.**
3. Detail 5 - I have images of how the existing poles have multiple signs attached to them. If we can keep the poles, please let me know if it is acceptable we use the existing application to install multiple signs on the poles. **This is per civil, and these two questions are tied together. The detail allows for attachment of the two required signs for these spaces, Reserved parking and Van Accessible. Signs should be installed with dimensions of details at heights indicated in the detail.**

As mentioned, I really want to avoid the necessity of resubmitting DSA due to any of these questions. Depending on your responses it will help me to understand if any of these need to be processed formally. If you need any other photos or dimensions, please let me know. Once I have clarification on these, I can finalize the scope for bid. Please feel free to call to discuss if needed. Thank you for your assistance!

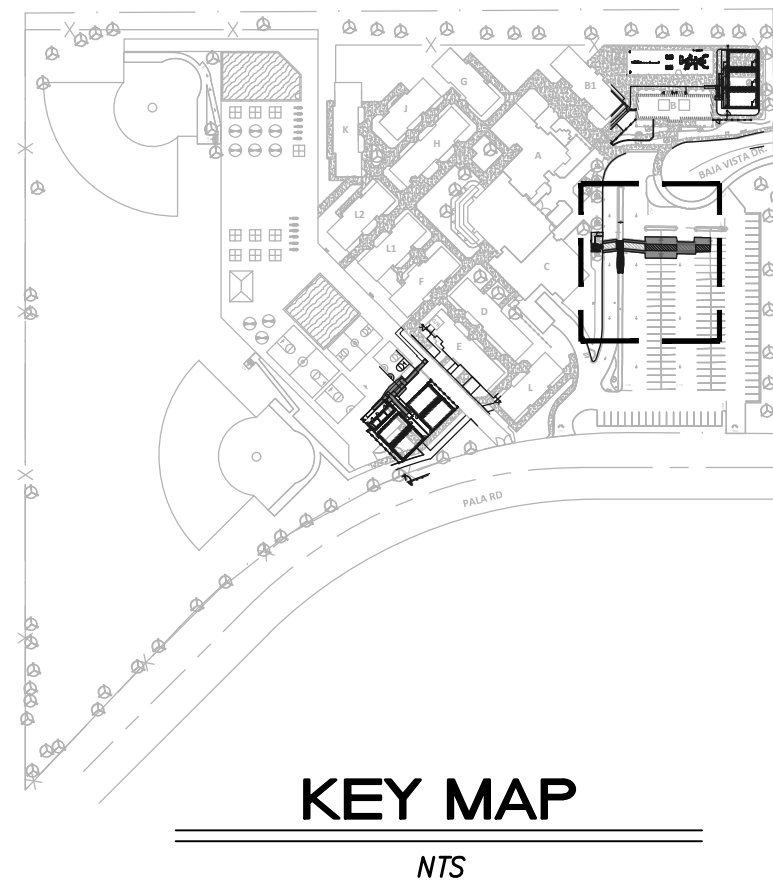
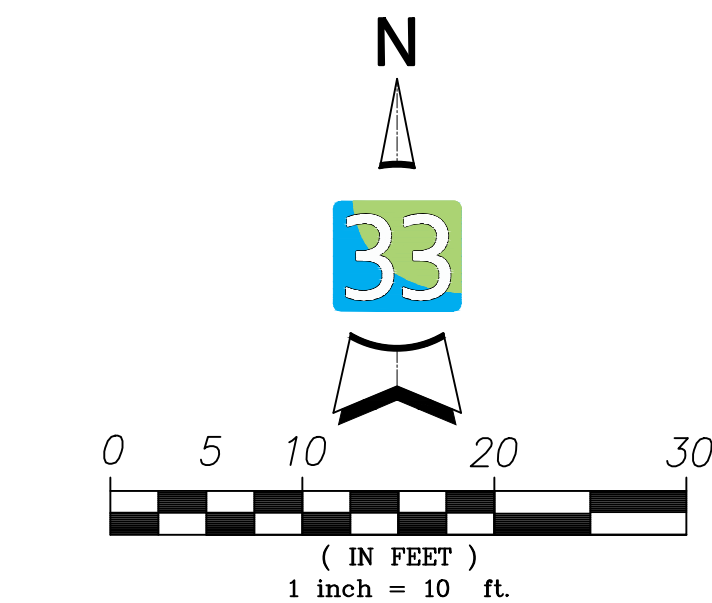


### DIG ALERT

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRED THAT DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-422-4133 AT LEAST TWO WORKING DAYS BEFORE YOU DIG.

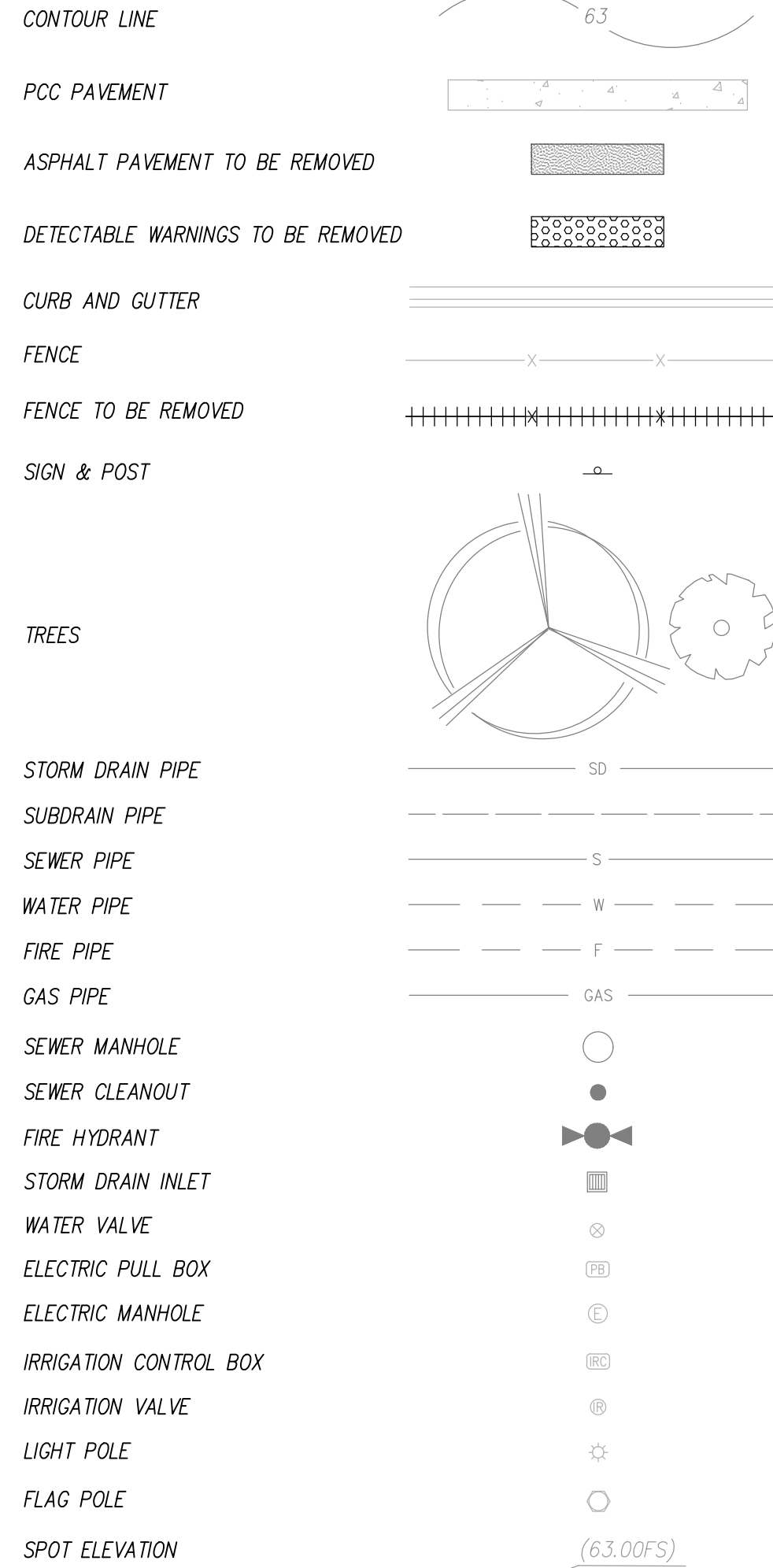


PROTECT IN PLACE ALL EXISTING UTILITIES UNLESS OTHERWISE SPECIFIED.



### LEGEND

#### EXISTING FEATURES



### DEMOLITION NOTES

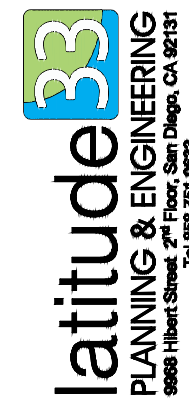
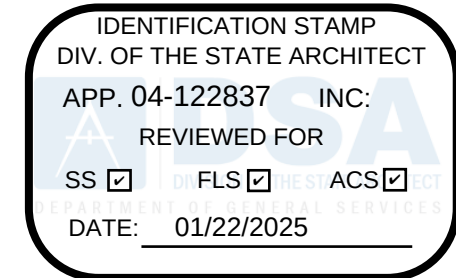
- 1 REMOVE AND REPLACE EXISTING CONCRETE TO NEAREST EXISTING JOINT. SEE NEW WORK PER SHEET C1.4.
- 2 REMOVE EXISTING TRUNCATED DOMES.
- 3 REMOVE AND REPLACE ALL PAVEMENT MARKINGS AND STRIPING IN KIND IF AFFECTED BY PROPOSED WORK.
- 4 REMOVE AND REPLACE EXISTING CURB.
- 5 REMOVE AND REPLACE EXISTING FENCING TO NEAREST POST.
- 6 REMOVE EXISTING ASPHALT AND BASE.
- 7 REMOVE EXISTING CURB TRANSITION AND REPLACE CURB PER SHEET C1.4.
- 8 REMOVE AND REPLACE WHEEL STOP.
- 9 REMOVE AND REPLACE ACCESSIBLE PARKING SIGN.

### PROTECT IN PLACE NOTES

- 1 PROTECT IN PLACE EXISTING CURB RAMP.
- 2 PROTECT IN PLACE EXISTING TREE.
- 5 PROTECT IN PLACE EXISTING FIRE WATER LINE.
- 6 PROTECT IN PLACE EXISTING FENCE.

### DEMOLITION GENERAL NOTES

1. PROTECT ALL UTILITIES IN PLACE UNLESS NOTED OTHERWISE.
2. THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS. ADDITIONAL UNDERGROUND UTILITIES/STRUCTURES MAY BE ENCOUNTERED. CONTRACTOR IS RESPONSIBLE FOR CONDUCTING UNDERGROUND EXPLORATIONS AND POT HOLING PRIOR TO COMMENCEMENT OF WORK TO ENSURE LOCATIONS OF EXISTING UTILITIES. CONTRACTOR SHALL DOCUMENT ALL UNFORESEEN AND UNKNOWN UNDERGROUND UTILITIES ON AS-BUILT DRAWINGS AND SUBMIT THEM TO THE IOR AND THE EOW IN SUPPORT OF PROJECT CLOSE OUT AND THE ACCEPTANCE OF THE PROJECT BY THE DISTRICT.
3. DEMOLITION CALLOUTS IN THIS PLANSET ARE REPRESENTATIVE OF WHAT IS TO BE DONE, NOT AN ITEMIZED ACCOUNTING FOR EACH PIPE, CATCH BASIN, MANHOLE, VAULT, ETC. THAT IS TO BE DEMOLISHED, REMOVED AND DISPOSED OF. CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF DEMOLITION AND NOTIFY OUSD ARCHITECT AND PROJECT MANAGER AND ENGINEER OF RECORD OF ANY PROPOSED DEVIATIONS FROM THESE PLANS. NOTIFICATION TO THE PROJECT MANAGER AND EOR SHALL BE MADE IN A TIMELY MANNER UNAFFECTING THE PROJECT SCHEDULE.
4. ANY TEMPORARY ON-SITE EQUIPMENT THAT IS DEEMED INTRUSIVE TO THE CONSTRUCTION OF THE PROJECT WILL BE BROUGHT TO THE ATTENTION OF THE OWNER REPRESENTATIVE. OBTAIN APPROVALS PRIOR TO MOVING/REMOVING OF SAID EQUIPMENT.
5. CONTRACTOR TO CONFIRM MATERIAL OF EXISTING UTILITIES. IF ASBESTOS CONCRETE PIPE IS ENCOUNTERED, ABATE ALL HAZMAT MATERIALS PER DISTRICT, OSHA, DEH AND ANY OTHER SAFE HANDLING REQUIREMENTS AND PROCEDURES.
6. THE CONTRACTOR AND SITE WORKERS MUST BE ON ALERT FOR ANY ODORS, DISCOLORATIONS, PHYSICAL CHANGES, OR OTHER CLUES AND ABNORMALITIES THAT MAY INDICATE SOIL CONTAMINATION. IF THERE IS ANY INDICATION OF SOIL CONTAMINATION, GRADING AND EXCAVATING IN THE SUSPECT AREA MUST BE STOPPED, AND THE ENVIRONMENTAL AFFAIRS DIVISION OF EH&S MUST BE CONTACTED IMMEDIATELY. UNTIL THE ISSUE IS ADDRESSED, SOILS ARE NOT TO BE MOVED OFF-SITE AND EXCAVATION MUST CEASE IN THE VICINITY OF THE SUSPECTED SOIL.



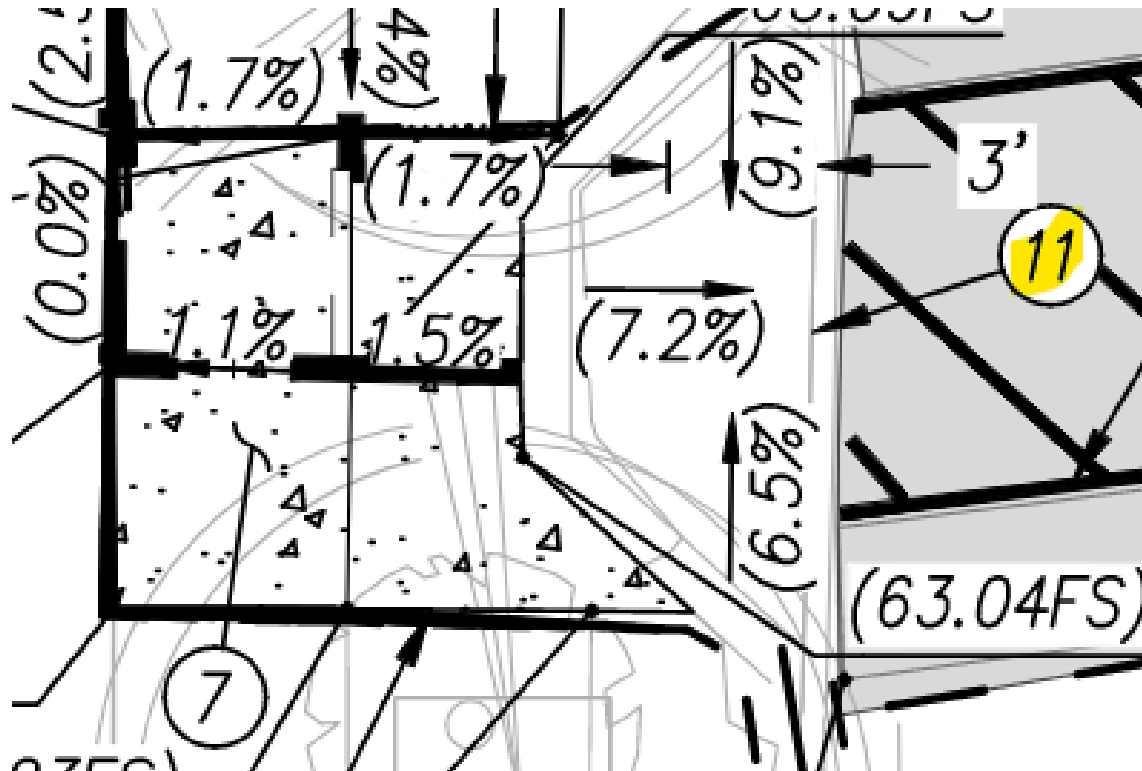
OCEANSIDE UNIFIED  
SCHOOL DISTRICT

PREPARED FOR

DEMOLITION PLAN  
FOUSSAT ELEMENTARY SCHOOL  
MODULAR INFRASTRUCTURE  
3800 PALA ROAD, OCEANSIDE, CA 92058  
DSA SUBMITTAL

|             |            |
|-------------|------------|
| PROJECT NO. | OUSD-011   |
| FILE NAME   |            |
| DATE        | 06/17/2024 |
| REVISIONS   | SHEET NO.  |
|             | C1.1       |





⑪ TRUNCATED DOMES PER DETAIL 3 AND SDRSD G-30 | SHEET C1.6

SHEET NO.

**C1.2**



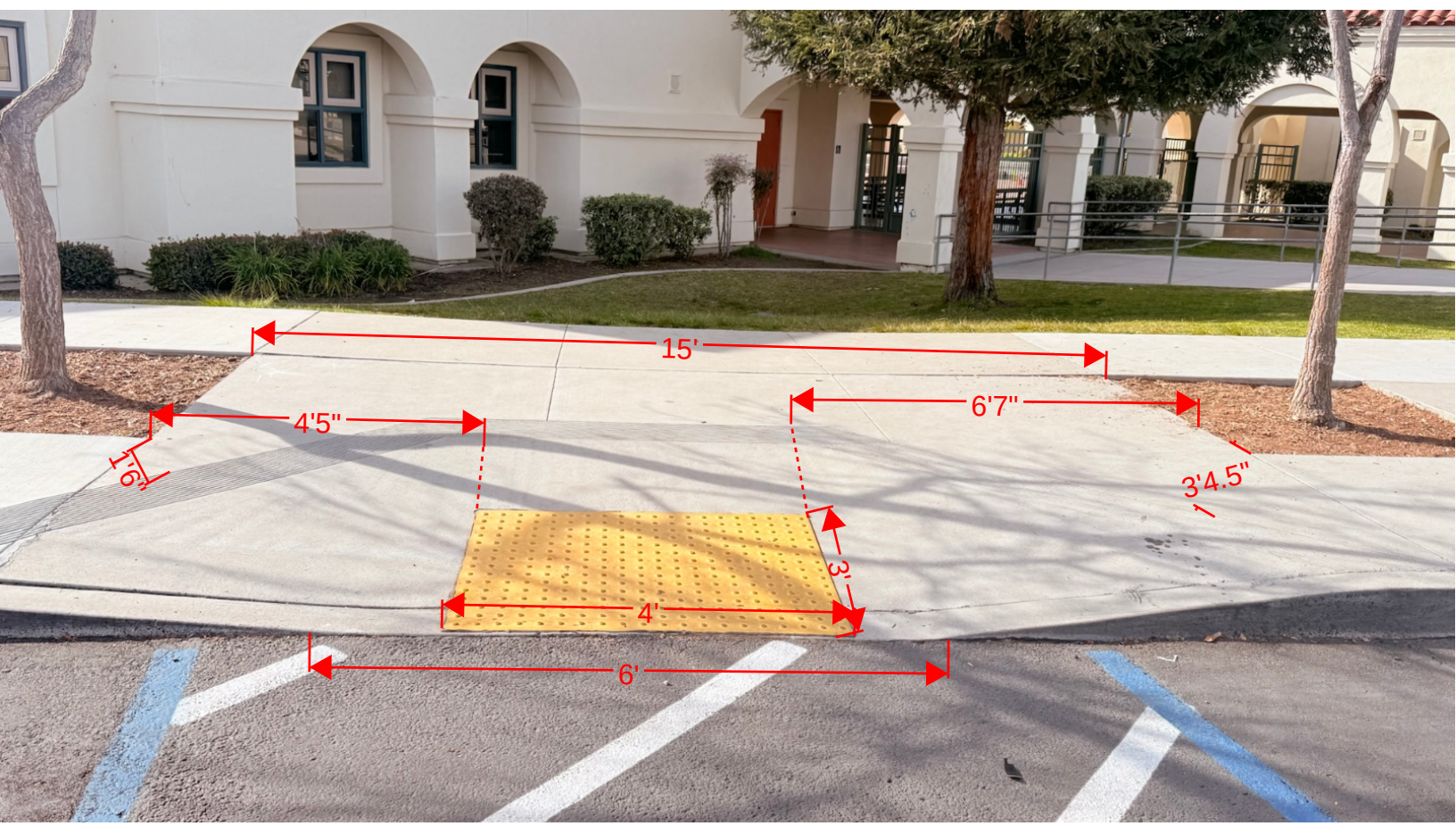










Image just showing how the truncated domes have already been removed.







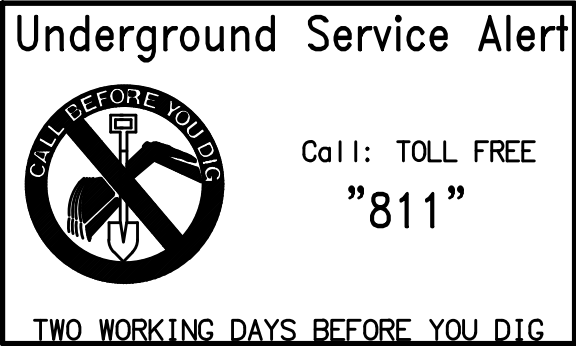
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VOID

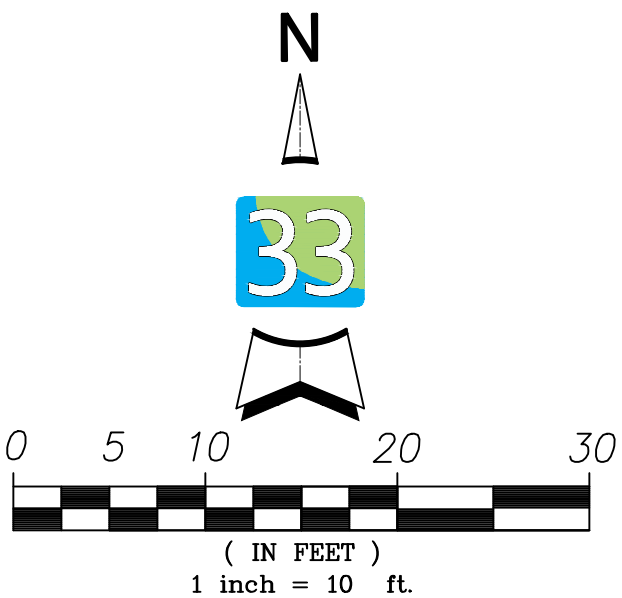
page is superseded

DIG ALERT

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRED THAT DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-422-4133 AT LEAST TWO WORKING DAYS BEFORE YOU DIG.



PROTECT IN PLACE ALL EXISTING UTILITIES UNLESS OTHERWISE SPECIFIED.

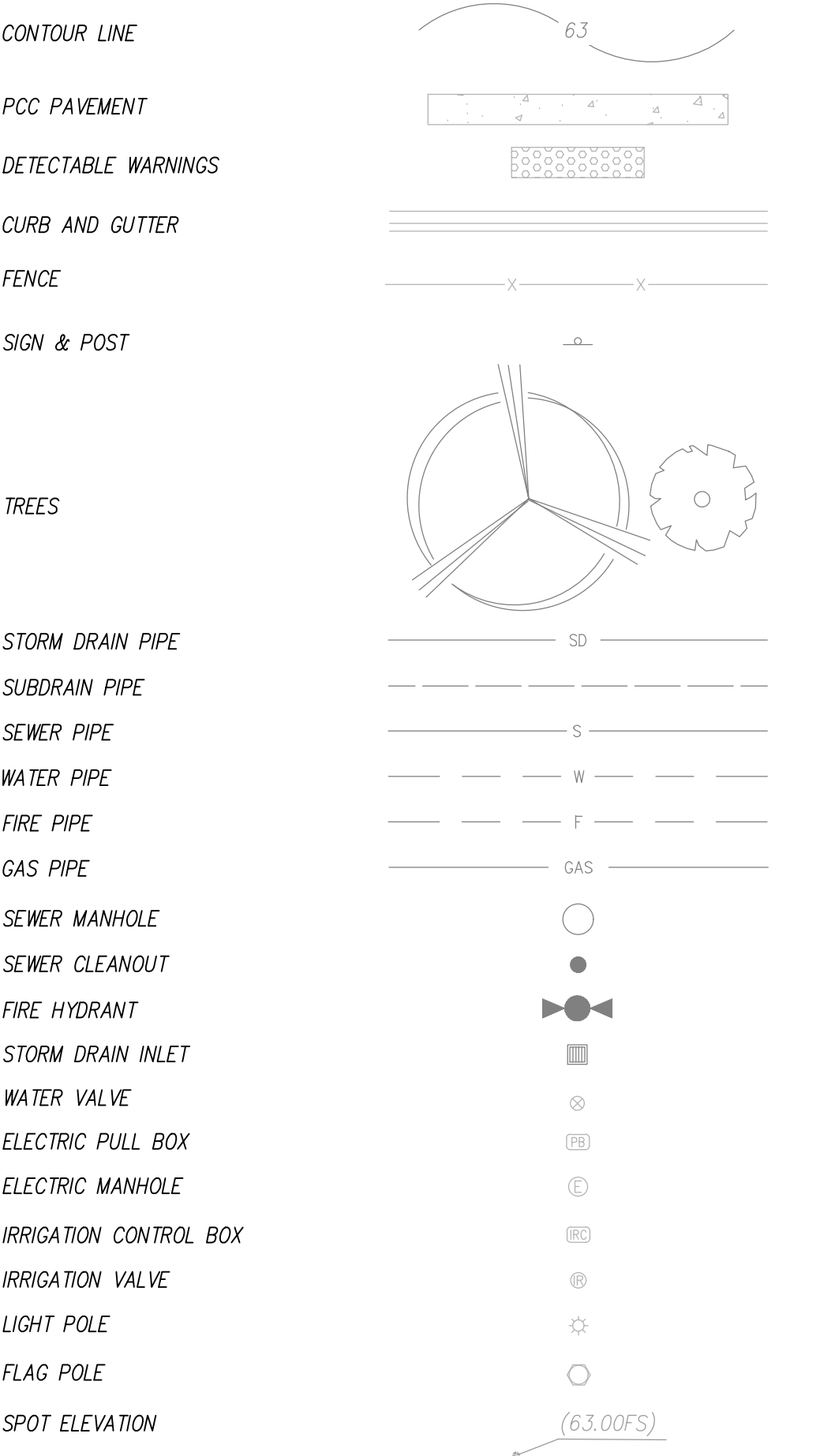


GENERAL NOTES

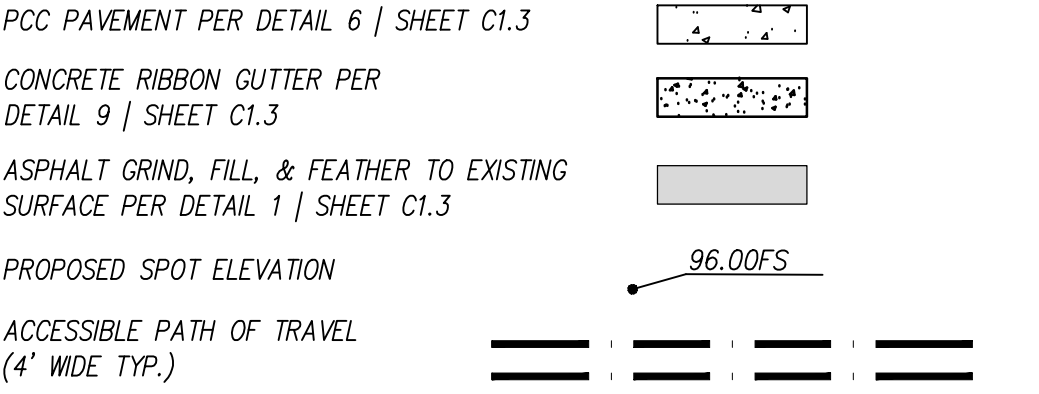
1. CONTRACTOR TO FIELD VERIFY EXACT LOCATION AND ELEVATION OF EXISTING GRADES, SITE IMPROVEMENTS AND UTILITIES PRIOR TO CONSTRUCTION. IF ANY CONFLICTS OR DEVIATIONS FROM THIS PLAN ARE IDENTIFIED, THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE ENGINEER OF WORK PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO PERFORM UTILITY LOCATING AND POTHOLING AS REQUIRED, AND PROTECT IN PLACE ALL EXISTING UTILITIES.
3. CONTRACTOR TO MATCH EXISTING PAVEMENT GRADES AND ELEVATIONS ALONG LIMITS OF WORK UNLESS OTHERWISE NOTED.
4. ALL CONTOUR LABELS AND ELEVATION CALLOUTS ARE IN UNITS "FEET".
5. WHERE NOTED AS "MATCH", NEW PAVEMENTS, SIDEWALKS, AND GRADES SHALL MATCH EXISTING GRADE ELEVATIONS AND PROVIDE SMOOTH TRANSITIONS TO EXISTING.
6. ANY UTILITY RIMS, TOPS OF GRATES, AND/OR LIDS (EXISTING OR PROPOSED) WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO GRADE IN THE FIELD.
7. CONTRACTOR TO VERIFY ELEVATIONS AT TIE-IN AND/OR MATCH POINTS PRIOR TO CONSTRUCTION.
8. ALL COORDINATES AND DIMENSIONS ARE TO EDGE OF PAVEMENT AND ARE IN FEET UNLESS NOTED OTHERWISE.
9. THE WORKSITE SHALL BE KEPT CLEAN OF DEBRIS AND WASTE. DEBRIS AND WASTE SHALL BE DISPOSED OF AT APPROVED SITES.
10. CONTRACTOR TO PROTECT IN PLACE ANY AND ALL ROOF DRAIN DOWNSPOUTS IN THE AREA OF WORK.
11. CONTRACTOR TO PROVIDE ENGINEER OF WORK SUFFICIENT NOTICE OF ANY FIELD CONFLICTS IN ORDER TO PREPARE FOR DESIGN RESOLUTION.

LEGEND

EXISTING FEATURES

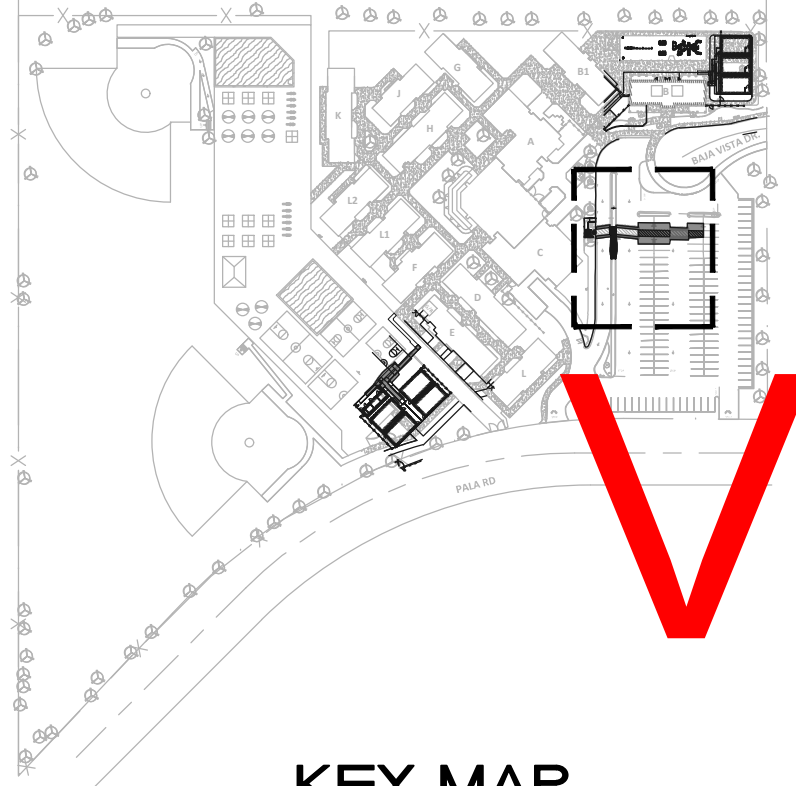


PROPOSED IMPROVEMENTS



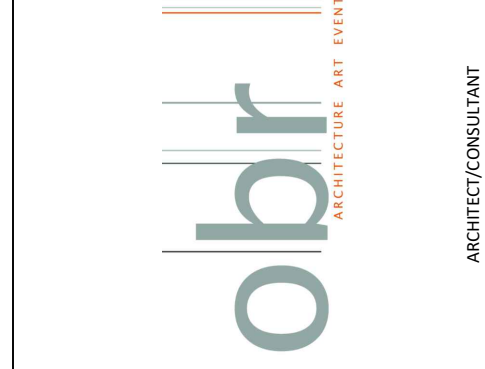
CONSTRUCTION NOTES

- 7 APPROXIMATE AREA OF PCC CONCRETE REMOVE AND REPLACE. CONCRETE SHALL BE CUT AND REMOVED TO CLOSEST ADJACENT JOINT PER DETAILS 5 AND 6 | SHEET C1.5
- 10 EXPANSION JOINT PER DETAIL 5 | SHEET C1.5
- 11 TRUNCATED DOMES PER DETAIL 3 AND SDRSD G-30 | SHEET C1.5
- 12 ASPHALT GRIND, FILL, & FEATHER TO EXISTING SURFACE.
- 13 PROPOSED ACCESSIBLE AISLE STRIPING PER DETAIL 2 AND 4 | SHEET C1.5
- 14 CURB RAMP PER SDG-135 TYPE C1 MODIFIED PER PLAN.
- 15 REPLACE WHITE DIAGONAL CROSSWALK STRIPING AS NEEDED.
- 16 PROVIDE "DO NOT BLOCK CROSSWALK" WHITE PAINT, 10" IN HEIGHT, ON PAVEMENT FACING DRIVERS.
- 17 6" CURB PER SDRSD G-1.
- 18 0" PCC CURB PER DETAIL 7 | SHEET C1.5
- 19 6" TO 0" CURB TRANSITION PER DETAIL 8 | SHEET C1.5
- 24 RIBBON RAMP PER DETAIL 9 | SHEET C1.5
- 25 WHEELSTOP PER DETAIL 4 | SHEET C1.6
- 26 ACCESSIBLE PARKING ISA MARKING PER DETAIL 3 | SHEET C1.5



KEY MAP

VOID



OCEANSIDE UNIFIED SCHOOL DISTRICT

FOUSSAT LOT PRECISE GRADING  
FOUSSAT ELEMENTARY SCHOOL  
MODULAR INFRASTRUCTURE  
3800 PALA ROAD, OCEANSIDE, CA 92058  
DSA SUBMITTAL

|             |            |
|-------------|------------|
| PROJECT NO. | FOUSSAT    |
| FILE NAME   |            |
| DATE        | 06/18/2024 |
| REVISIONS   |            |
| SHEET NO.   | C1.4       |













Option 1 - Just Mirror option

Cont.

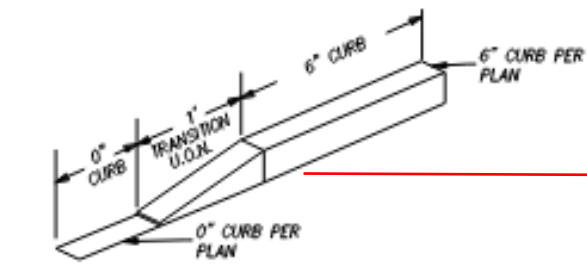
20'

Option 2 - Double Drop

20'

Option 3 - Drop & Sharp Stop

20'



6" TO 0" CURB TRANSITION

NTS

8





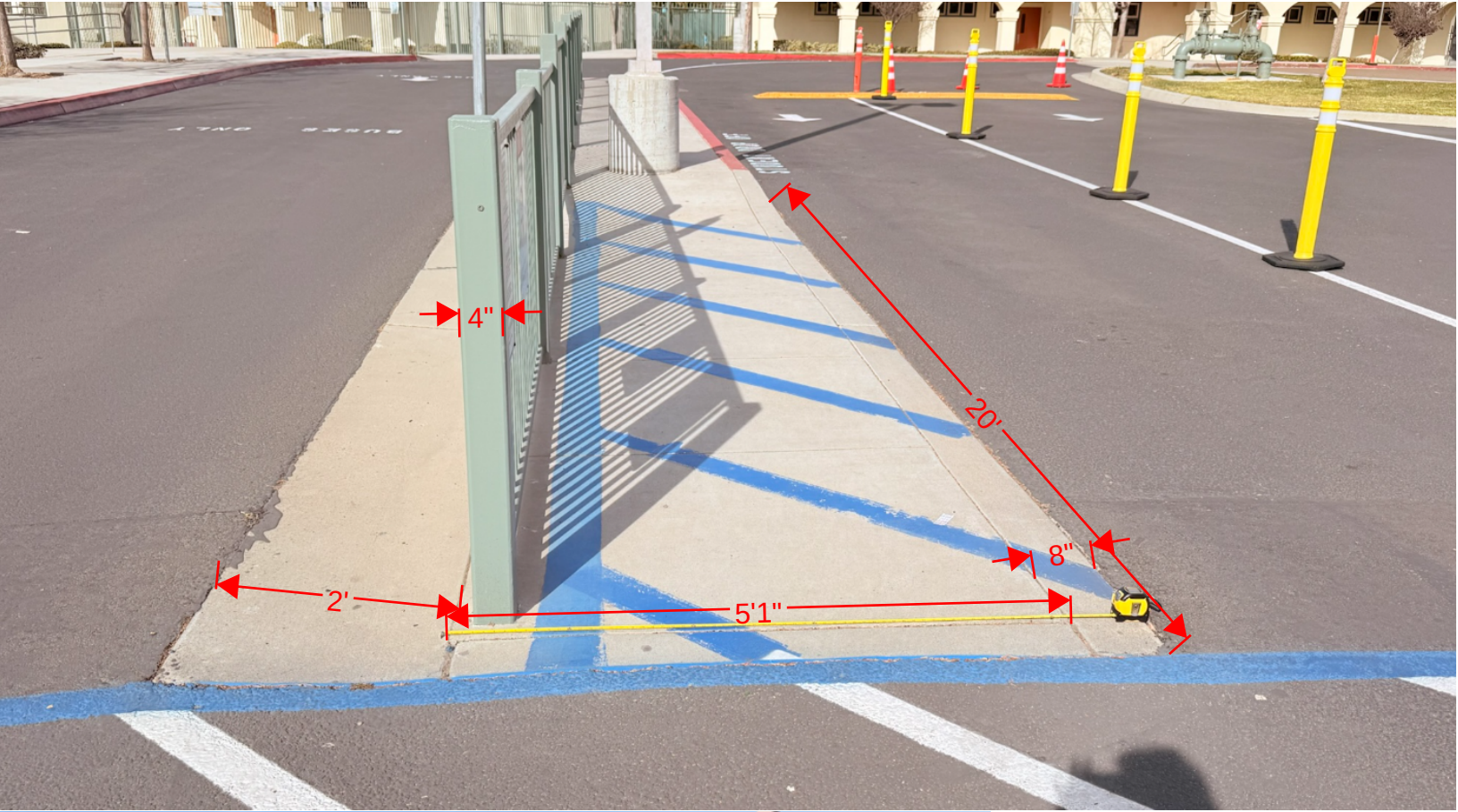




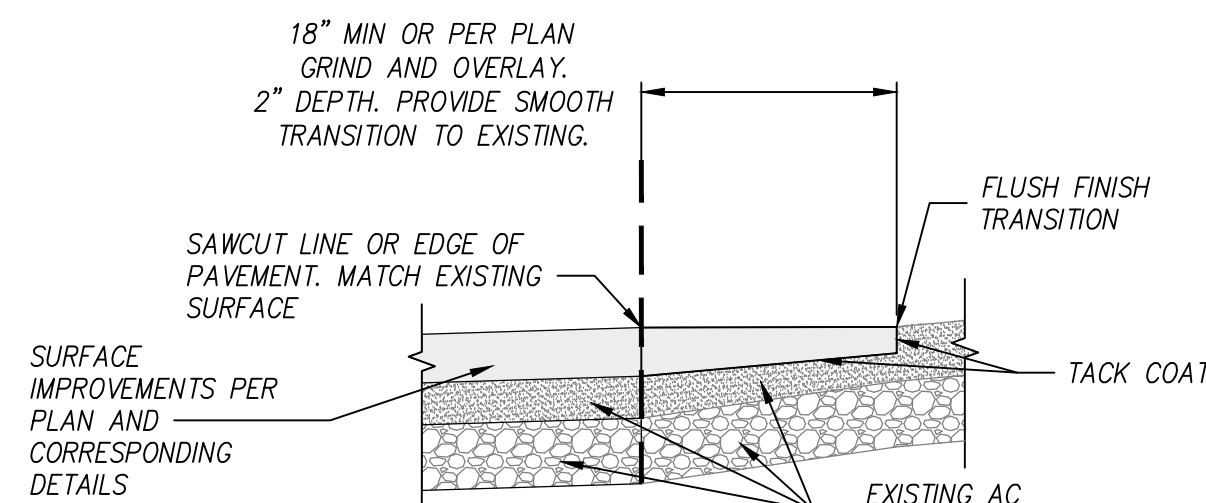






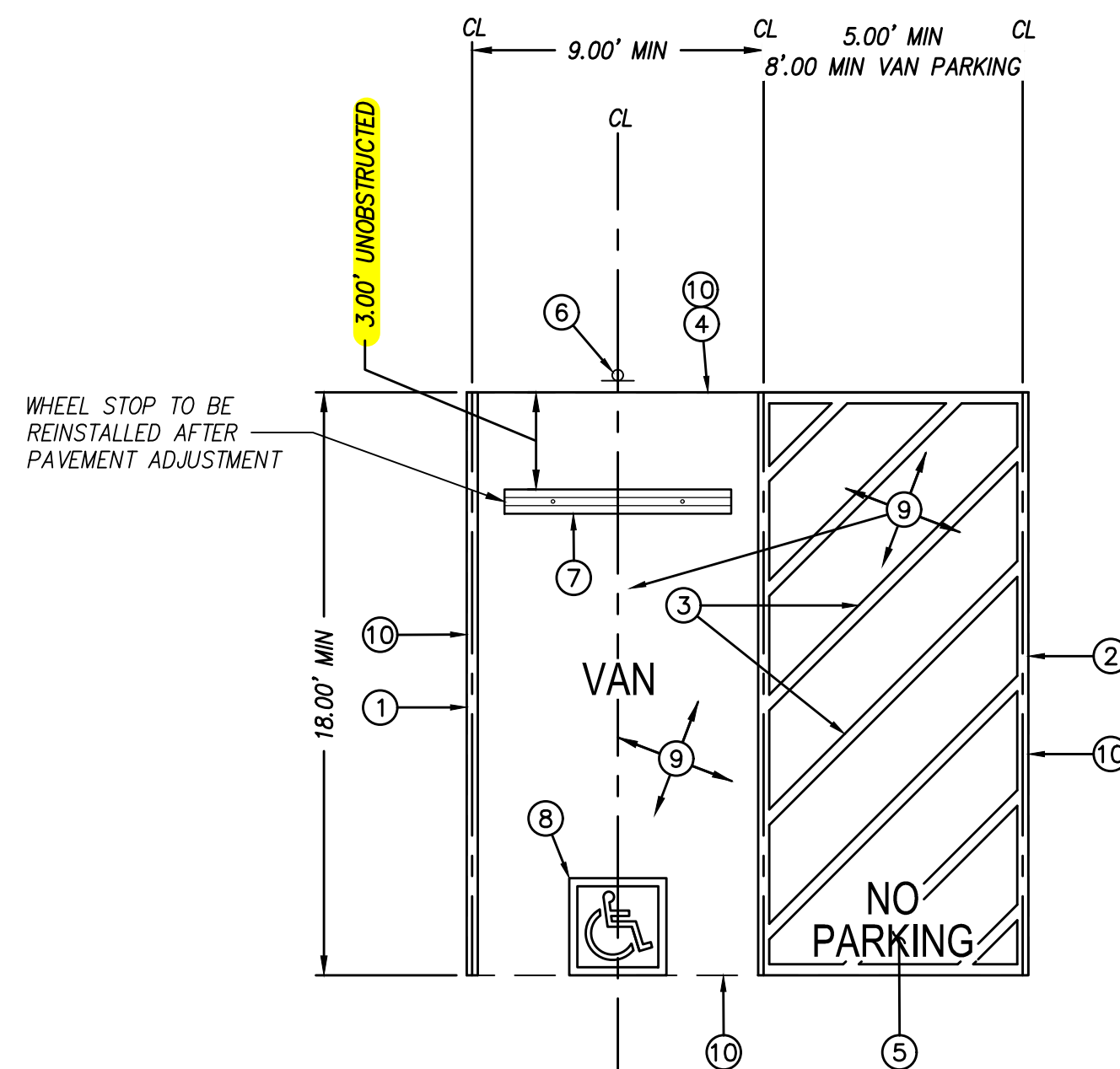






#### GRIND AND OVERLAY

NTS



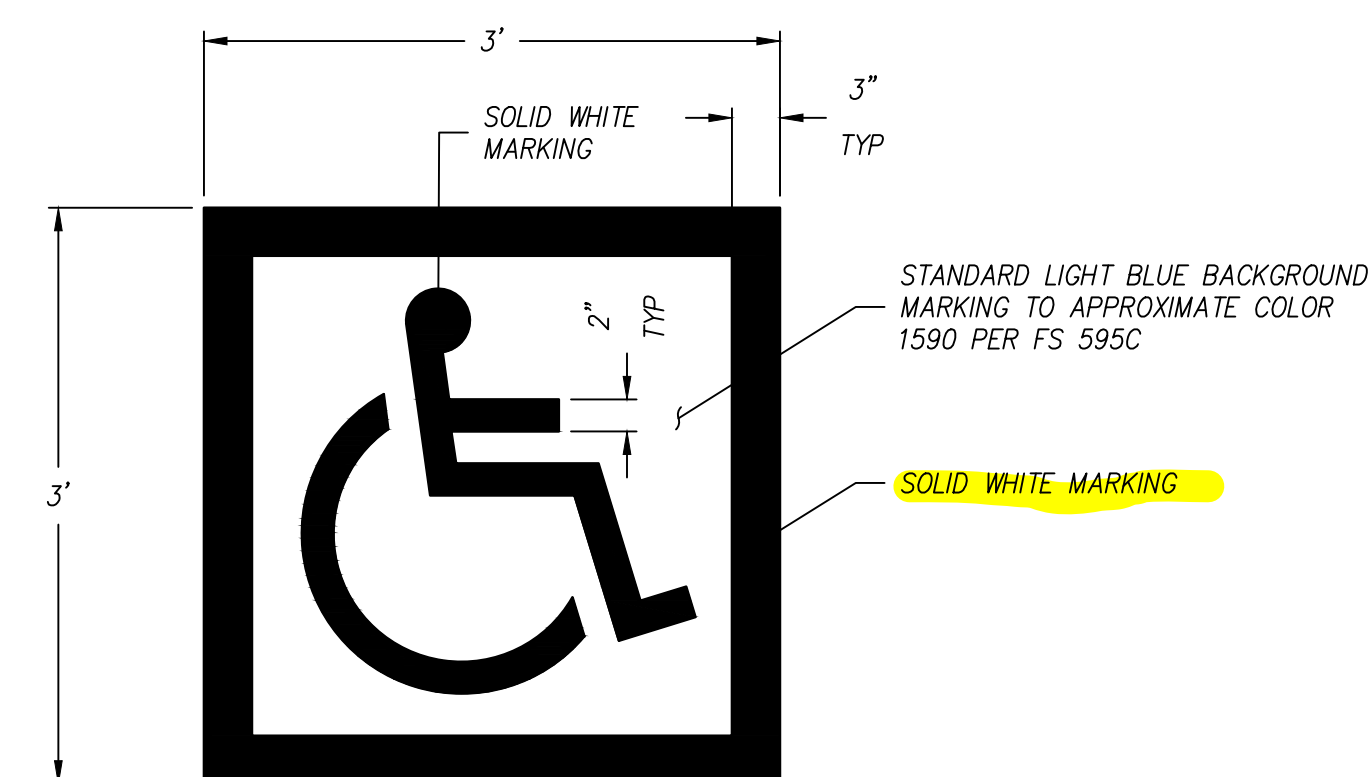
#### ACCESSIBLE PARKING STALL AND ACCESS AISLE

NTS

#### KEYNOTES:

- 4" BLUE LINE.
- 4" BLUE LINE BORDER.
- 4" HATCHED DIAGONAL LINES AT 36" MAX ON-CENTER (SHOWN AT 30") PAINTED A CONTRASTING COLOR WITH THE PARKING SURFACE IN ACCESS AISLE, WHITE ON ASPHALT CONCRETE, BLUE ON PORTLAND CEMENT CONCRETE.
- UPPER LIMIT OF ACCESSIBLE PARKING STALLS =
  - FACE OF CURB, OR,
  - GUTTER LIP (IF STANDARD CITY GUTTER), OR,
  - FACE OF CURB AND GUTTER (IF GUTTER SLOPE IS MODIFIED TO BE < 2%)
- "NO PARKING" 12" MIN. HIGH WHITE STRIPING PER CALTRANS STANDARD RSP DWG A24E.
- EXISTING ACCESSIBLE PARKING (FOR VAN) SIGN COMPLIANT WITH CODE 11B-502.6.3 PER DETAIL 5 | SHEET C1.6.
- EXISTING WHEEL STOP TO REMAIN.
- ISA SYMBOL PER DETAIL 3, THIS SHEET.
- 2% MAX (1.5% DESIGN) SLOPE IN ANY DIRECTION IN STALL AND ACCESS AISLE. NO CHANGES IN LEVEL ACROSS ENTIRE STALL/ACCESS AISLE.
- GRADE BREAK

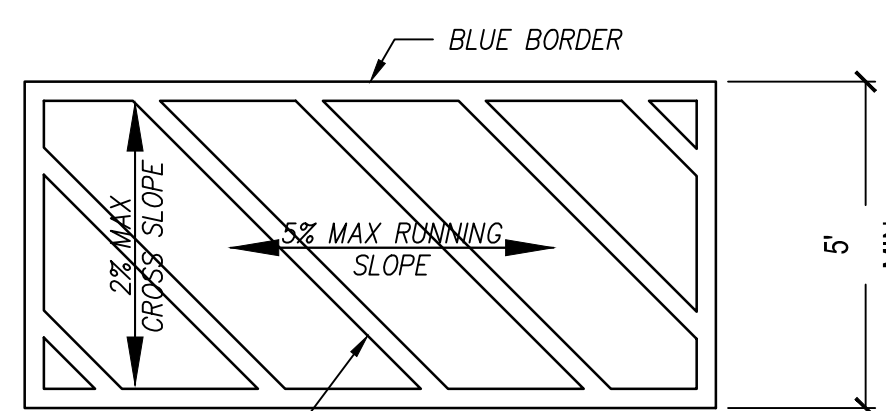
WHERE USED THE ISA (INTERNATIONAL SYMBOL OF ACCESSIBILITY) SHALL APPROXIMATE COLOR AND PROPORTIONS FIG. 11B-703.7.2.1



NOTE  
WHERE USED THE ISA (INTERNATIONAL SYMBOL OF ACCESSIBILITY) SHALL APPROXIMATE COLOR AND PROPORTIONS FIG. 11B-703.7.2.1.

#### ACCESSIBLE PARKING ISA MARKING

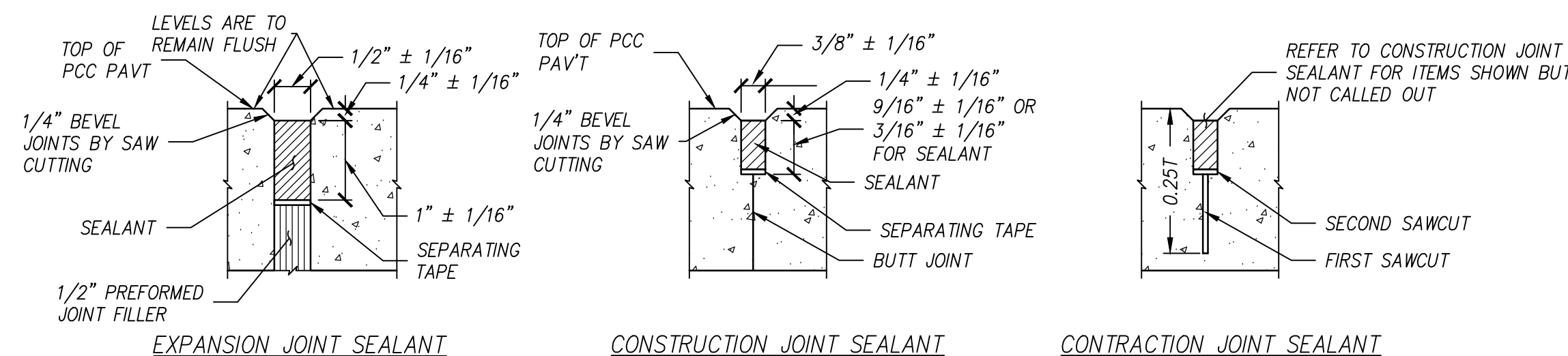
NTS



HATCHED LINES AT 36" ON CENTER  
MAX SPACING. BLUE ONLY ON  
CONCRETE, WHITE ON AC.

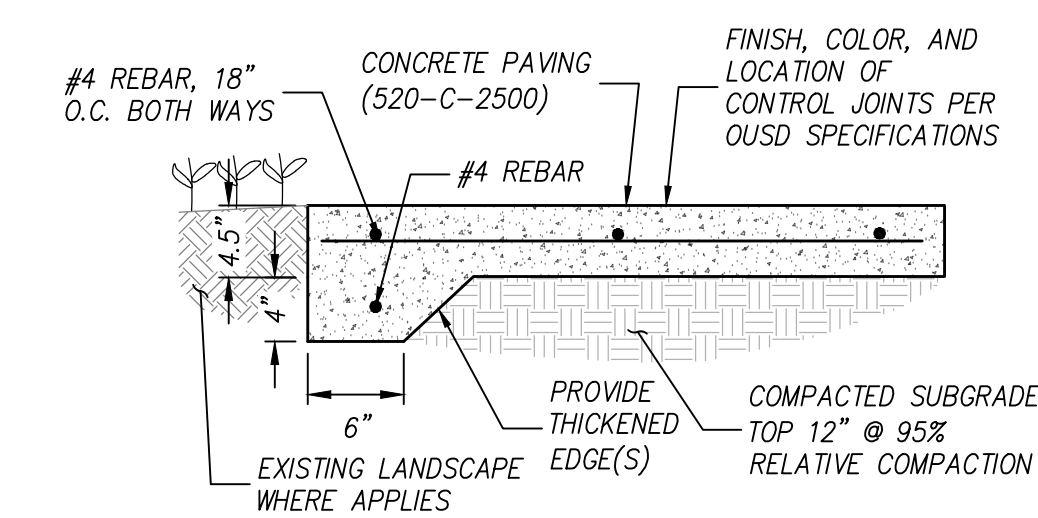
#### ACCESSIBLE ROUTE STRIPING

NTS



#### CONCRETE JOINTS

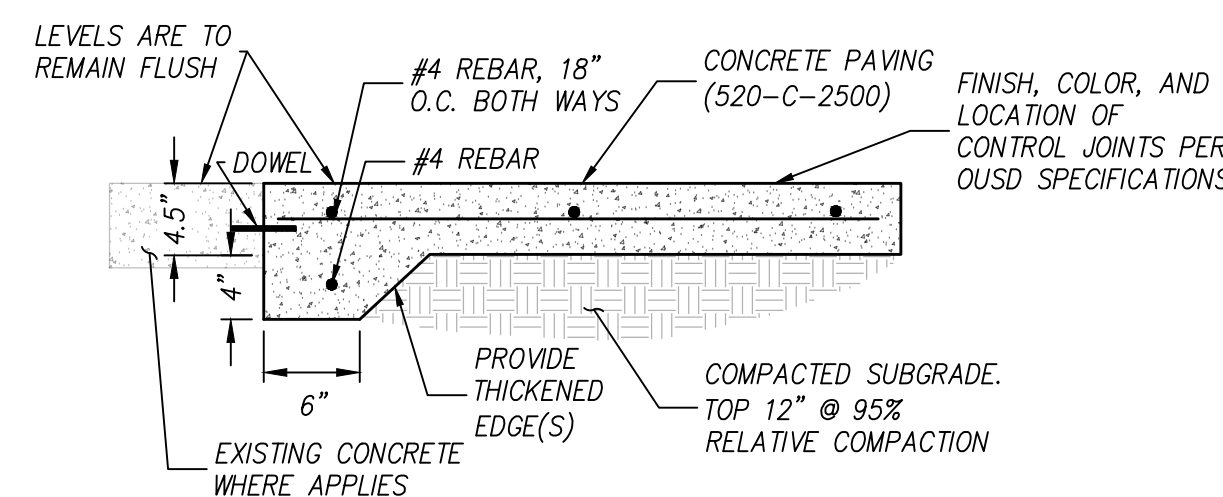
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#### PEDESTRIAN CONCRETE PAVEMENT

NTS

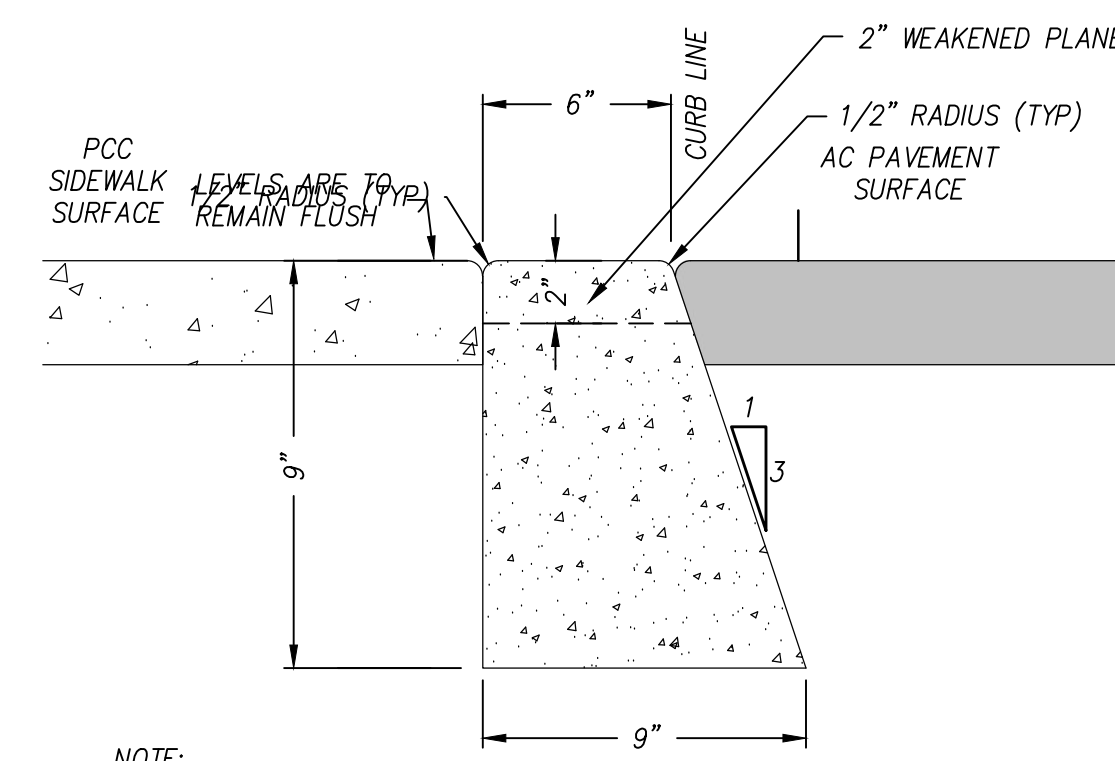
6A



#### PEDESTRIAN CONCRETE PAVEMENT

NTS

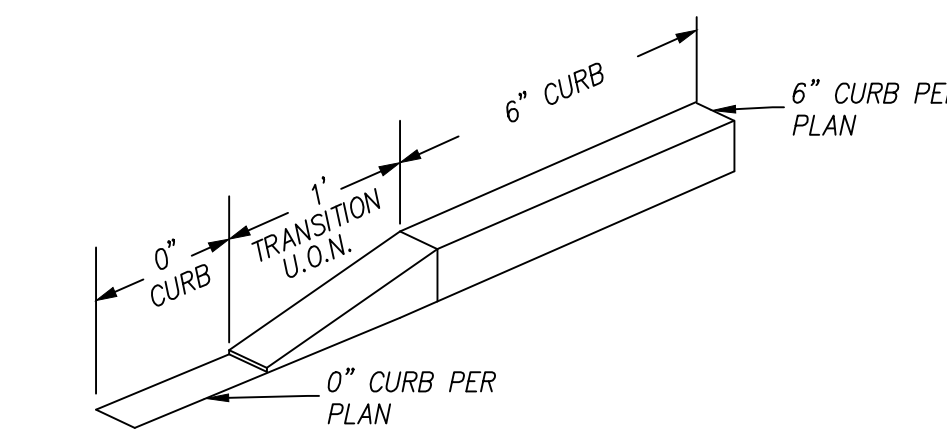
6B



#### 0" CURB

NTS

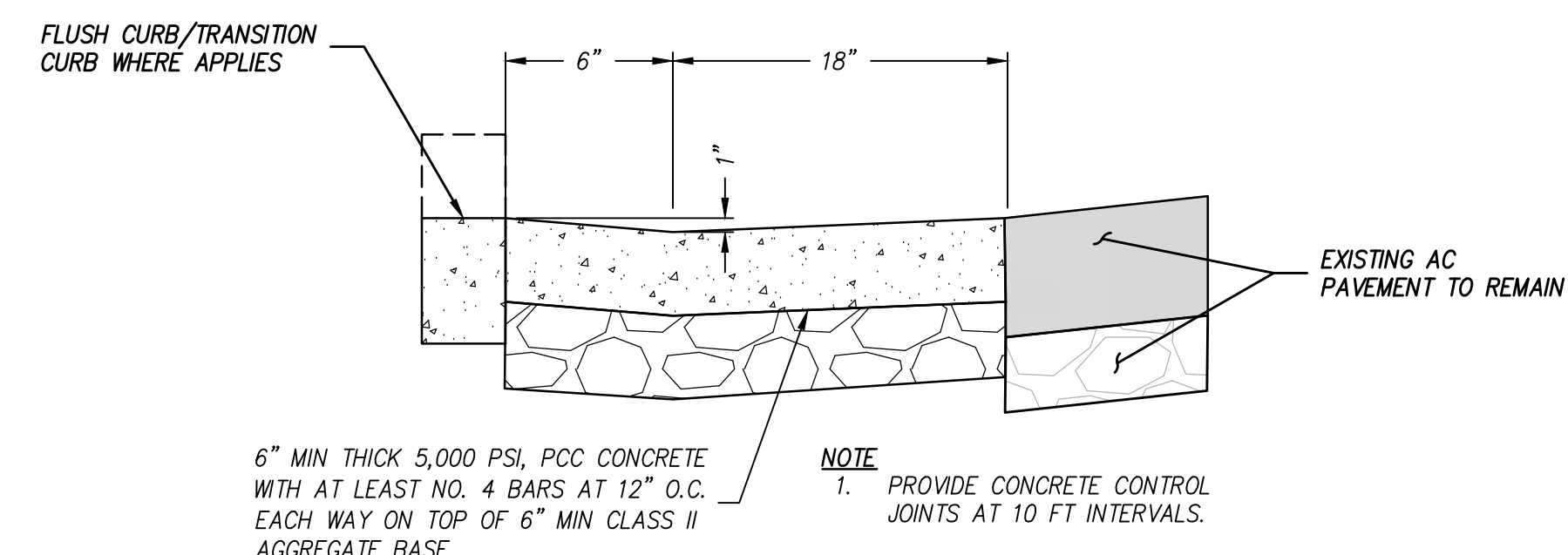
7



#### 6" TO 0" CURB TRANSITION

NTS

8



#### CONCRETE RIBBON GUTTER

NTS

9





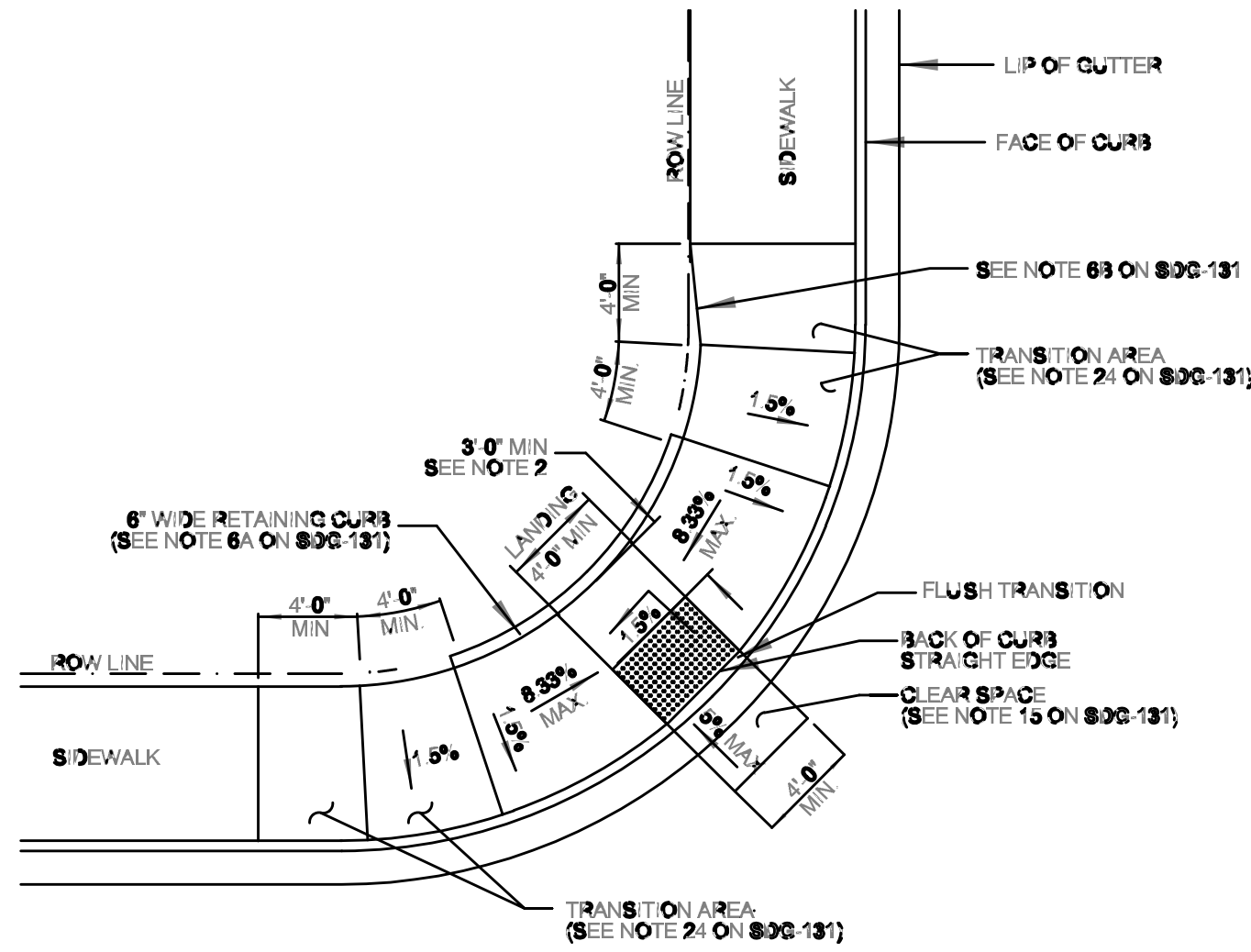








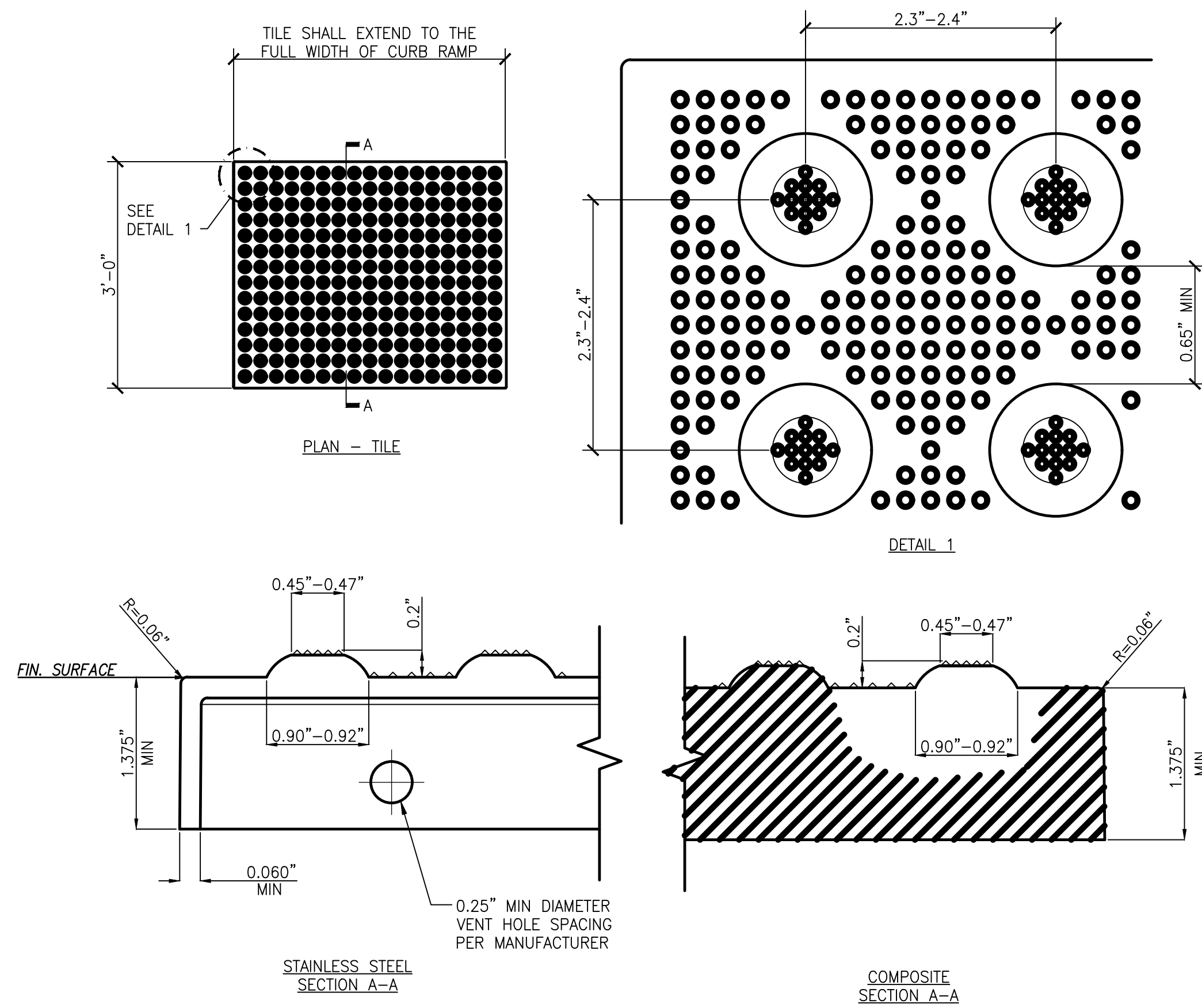




CURB RAMP - TYPE C1  
NTS

C1.4

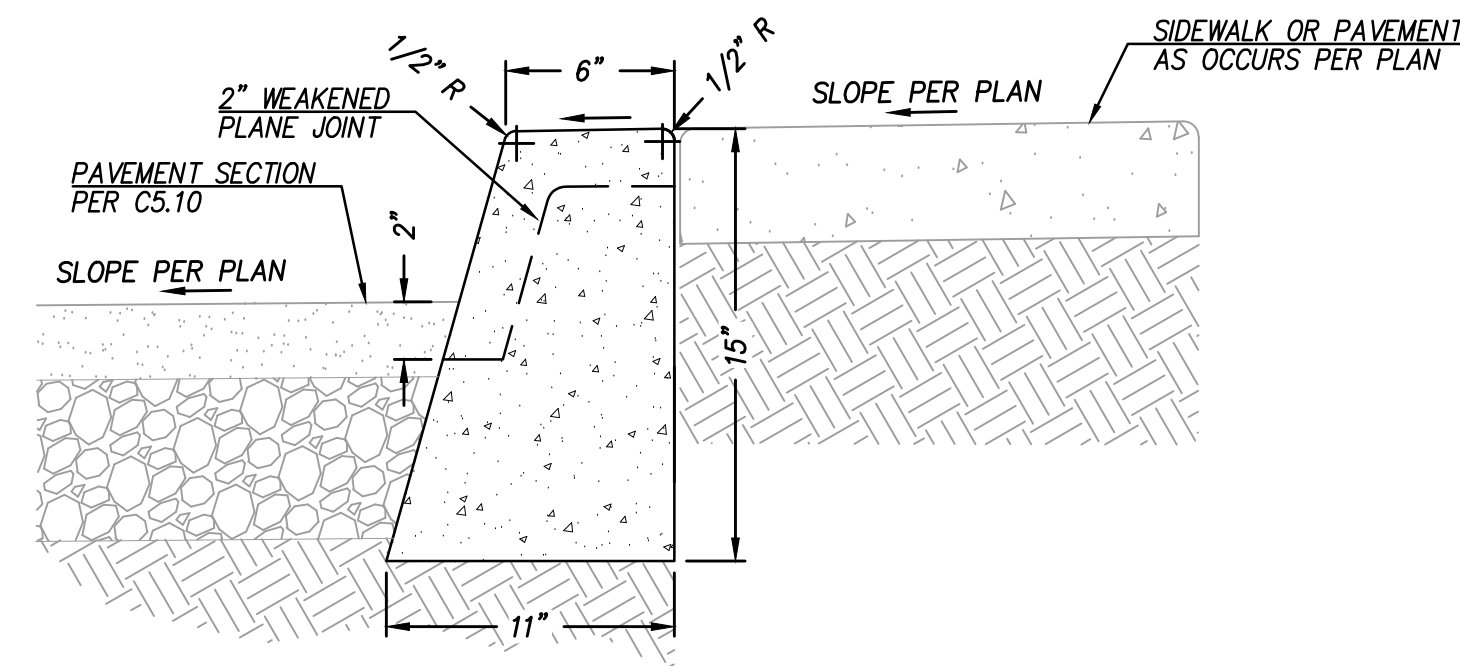
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TRUNCATED DOMES  
NTS

C1.4

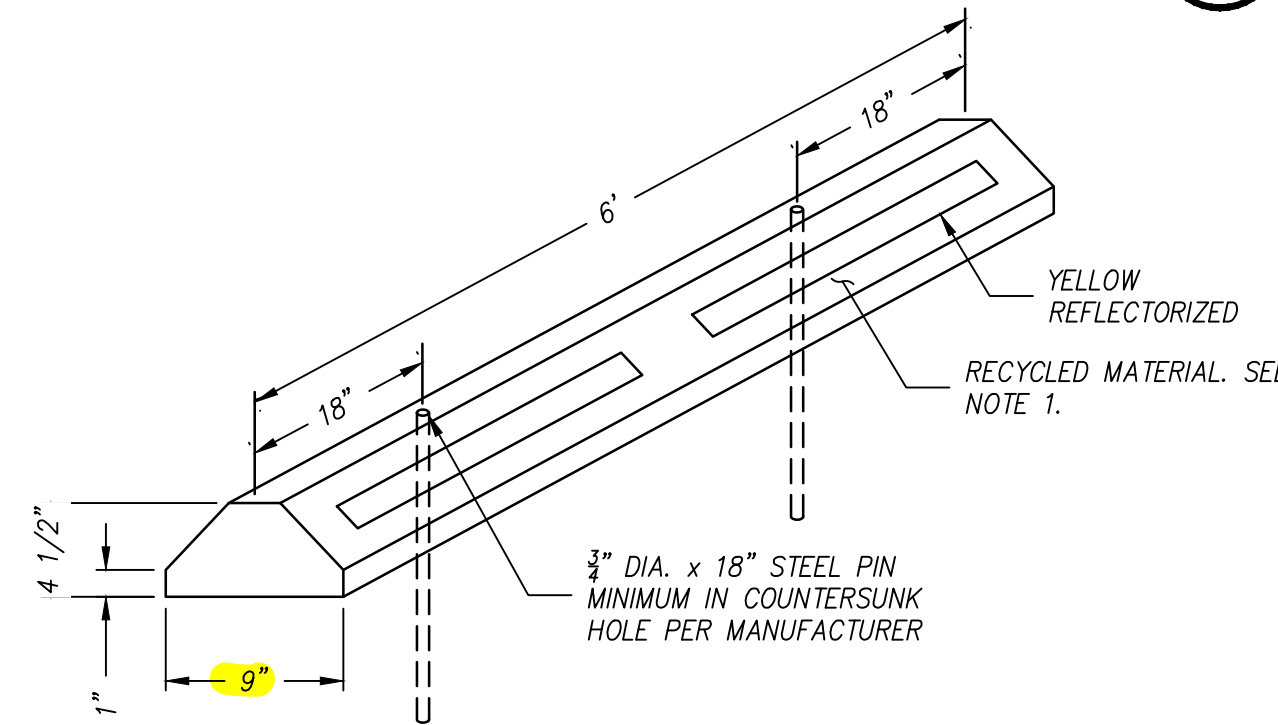
3



TYPICAL 6" CURB  
NTS

C1.4

2

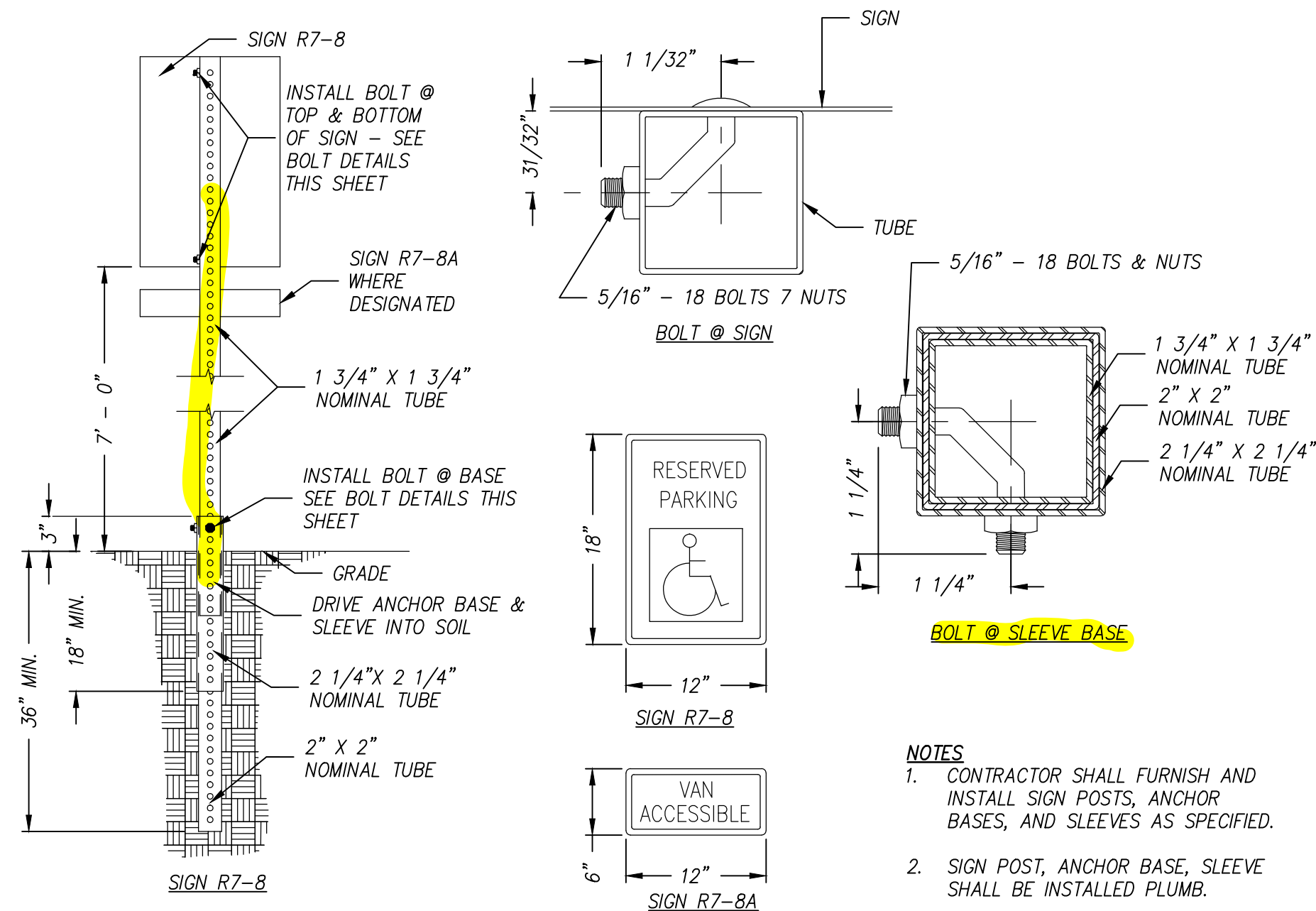


- NOTES
1. PARKING BLOCKS MAY BE RECYCLED PLASTIC, RUBBER, OR OTHER RECYCLED APPROVED MATERIALS.
  2. EQUIVALENT PRE-FABRICATED WHEEL STOP/PARKING BLOCK WITH REFLECTORS MAY BE USED IN LIEU OF THIS DETAIL ONLY IF CONTRACTOR SUBMITS SPECS TO ENGINEER OF WORK FOR APPROVAL.

WHEEL STOP / PARKING BLOCK  
NTS

C1.4

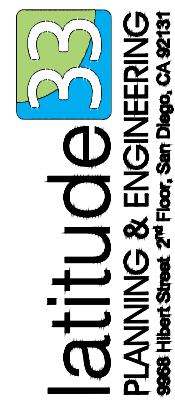
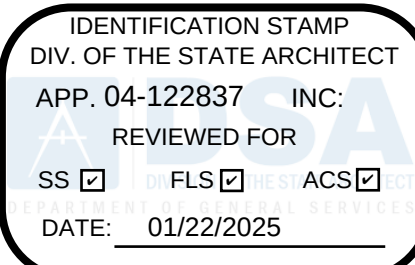
4



ACCESSIBLE SIGNAGE  
NTS

C1.4

5



OCEANSIDE UNIFIED  
SCHOOL DISTRICT

C1.6 ADA DETAILS - DETAILS

FOUSSAT ELEMENTARY SCHOOL  
MODULAR INFRASTRUCTURE

3800 PALA ROAD, OCEANSIDE, CA 92058  
DSA SUBMITAL

PROJECT NO. OUSD-011

FILE NAME

DATE 06/18/2024

REVISIONS

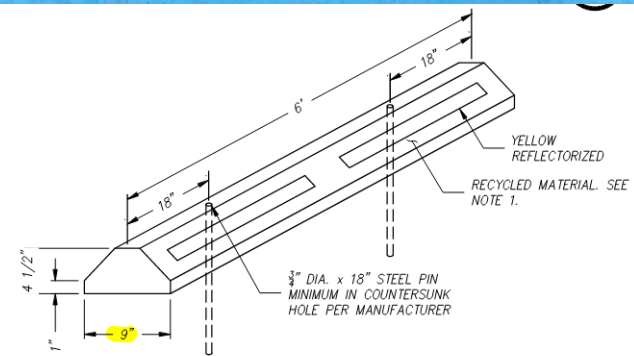
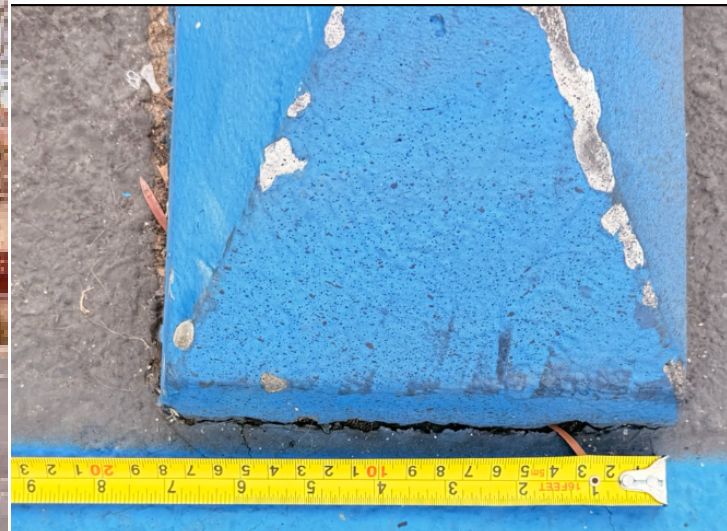
SHEET NO.

C1.6









**NOTES**

1. PARKING BLOCKS MAY BE RECYCLED PLASTIC, RUBBER, OR OTHER RECYCLED APPROVED MATERIALS.
2. EQUIVALENT PRE-FABRICATED WHEEL STOP/PARKING BLOCK WITH REFLECTORS MAY BE USED IN LIEU OF THIS DETAIL ONLY IF CONTRACTOR SUBMITS SPECS TO ENGINEER OF WORK FOR APPROVAL.

**WHEEL STOP / PARKING BLOCK**

NTS

C1.4





|                                   |                 |              |                            |
|-----------------------------------|-----------------|--------------|----------------------------|
| 1: NEWCO                          | WILLIAM LEFEVRE | 760-508-4369 | ESTIMATING@NEWCOGC.com     |
| 2 HSCC Builders                   | Steven Bengtson | 760-802-4038 | estimating@hscbuilders.com |
| 3 Candace Williams <del>MAA</del> | →               | 760-707-9119 |                            |
| 4 Q-Q Builders Inc                | Nasser IS       | 424-434-596  |                            |
| 5                                 |                 |              |                            |
| 6                                 |                 |              |                            |
| 7                                 |                 |              |                            |
| 8                                 |                 |              |                            |
| 9                                 |                 |              |                            |
| 10                                |                 |              |                            |
| 11                                |                 |              |                            |
| 12                                |                 |              |                            |
| 13                                |                 |              |                            |
| 14                                |                 |              |                            |



# OCEANSIDE UNIFIED SCHOOL DISTRICT

## PUBLIC WORKS CONTRACT FOR SERVICES

### CONTRACT

This Contract ("Contract") is made by and between the **Oceanside Unified School District** ("District"), and between **{Contract Company}** ("Contractor").

District and Contractor hereby agree as follows:

1. Description of Work

The Contractor agrees to furnish all labor, materials, equipment, tools, supervision, appurtenances, and services, including transportation and utilities, required to perform and satisfactorily complete the following services per:

**BID # {Contract #}**  
**{Title}**

Scope of Work: Provide materials and services, including installation, as outlined in the attached proposal as Exhibit A

CONTRACT {Contract #}  
DIR Project ID/PWC-100 \_\_\_\_\_  
DIR Registration \_\_\_\_\_  
CLSB \_\_\_\_\_

2. Contract Documents

The Contract Documents consist of the executed Contract and all Addenda, the completed Bid Forms, the required Bonds and the Insurance forms, the Notice to Bidders, the Instructions to Bidders, the Notice of Award, the Notice to Proceed, the General Conditions and any Special Conditions, and the Specifications.

3. Compensation

As full compensation for the Contractor's complete and satisfactory performance of the work and activities described in the Contract Documents, the District agrees to pay Contractor, and Contractor agrees to accept the not to exceed total amount of

\_\_\_\_\_, (\_\_\_\_\_), which shall be paid to the Contractor according to the Contract Documents.



| Site/Location                         | Amount    |
|---------------------------------------|-----------|
|                                       | \$        |
|                                       | \$        |
|                                       | \$        |
|                                       | \$        |
| <b>Total Base Bid (not to exceed)</b> | <b>\$</b> |

4. Prevailing Wages

This Project is a public works project subject to prevailing wage requirements and Contractor and its Subcontractors are required to pay all workers employed for the performance of this Contract no less than the applicable prevailing wage rate for each such worker. Contractor acknowledges that the project is subject to compliance monitoring and enforcement by the California Department of Industrial Relations in accordance with Labor Code § 1770 et seq.

5. Time for Completion

The starting date of the Contract shall be the day listed by the District in the Notice to Proceed, estimated to be approximately {Contract Time} and the Contractor shall fully complete all the work before {Expiration Date} Time is of the essence in the performance of this Contract.

6. Liquidated Damages

Liquidated damages for the Contractor's failure to complete the Contract within the time fixed for completion are established in the amount of \_\_\_\_\_ dollars (\$ {Liquidated Damages} ) per calendar day.

7. Audit.

The District and Contractor are subject to the examination and audit of the California State Auditor for a period of three (3) years after the final payment under this Contract, in compliance with Government Code §8546.7.

8. Mark-Up On Direct Costs of Changes.

In the event of Changes to the Work, pursuant to Article 9 of the General Conditions, the markup for all overhead, including but not limited to home-office overhead, safety, mailing or clean-up, field office overhead, all other general conditions costs, bond premium, and profit ("Change Order Mark-Up") for Changes completed by the Contractor shall be **Fifteen percent (15%)** of the direct actual costs for performance of the Change as determined in accordance with the provisions of Article 9 of the Construction General Conditions. For the portion of a Change completed by a Subcontractor, the Subcontractor Change Order Mark-Up shall be **ten percent (10%)** of the Subcontractor's direct actual costs and the Contractor may mark-up of **five percent (5%)** to the Subcontractor's direct actual costs for the Contractor's management, supervision and coordination of the Subcontractor's completion of such Change.



IN WITNESS WHEREOF, the parties agree to the terms of this Contract on the day and year written below.

**CONTRACTOR**

**OCEANSIDE UNIFIED SCHOOL DISTRICT**

Andrea Norman, Ed.D.

Contractor Name

Name

Contractor Signature

Signature

Title

Associate Superintendent of Business Services

Title

Date

Date

Corporation or Partnership (if corporation, seal below)